



*Sanctuary Cove resort Act 1985
Buildings Units and Group Titles Act 1980
Building Units and Group Titles Regulations 1998*

NOTICE OF EXTRAORDINARY GENERAL MEETING OF THE SANCTUARY COVE PRIMARY THOROUGHFARE BODY CORPORATE

**Notice of business to be dealt with at the
EXTRAORDINARY GENERAL MEETING of the Sanctuary
Cove Primary Thoroughfare Body Corporate GTP 201, to be held at
Meeting Room 1, Sanctuary Cove Body Corporate Services,
Sanctuary Cove, QLD 4212, on
Thursday 27th June 2024 10:00AM**

A proxy form and a voting paper have been included to give you the opportunity to be represented at the meeting. Please read the attached General Instructions, to ensure that all documents are completed correctly as failure to do so may jeopardise your entitlement to vote.

INDEX OF DOCUMENTS

- 1. NOTICE AND AGENDA OF MEETING**
- 2. INSTRUCTIONS FOR VOTING**
- 3. PROXY FORM**
- 4. VOTING [MOTIONS FROM AGENDA]**

The following agenda sets out the substance of the motions to be considered at the meeting. The full text of each motion is set out in the accompanying Voting Paper. An explanatory note by the owner proposing a motion may accompany the agenda.

If you are not attending the meeting in person, please take the time to complete and return the voting paper to the reply address below or submit a valid proxy to the PTBC Secretary prior to the meeting.

Sanctuary Cove Body Corporate Services Pty Ltd, for the Secretary

Reply To PO Box 15, SANCTUARY COVE QLD, 4212

**NOTICE OF THE EXTRAORDINARY GENERAL MEETING OF
Sanctuary Cove Primary Thoroughfare Body Corporate GTP 201**

**Notice of business to be dealt with at the
EXTRAORDINARY GENERAL MEETING of the Sanctuary
Cove Primary Thoroughfare Body Corporate GTP 201, to be held at
Meeting Room 1, Sanctuary Cove Body Corporate Services,
Sanctuary Cove, QLD 4212, on
Thursday 27th June 2024 10:00AM**

To avoid delaying commencement of the meeting, it would be appreciated if proxies and voting papers could be received by this office at least 24 hours prior to the meeting. However, proxies and voting papers will be accepted prior to the commencement of the meeting.

AGENDA

1. Attendance record including admittance of proxies and voting papers
2. Quorum
3. Financial Status
4. Recording of the Meeting
5. Motion
 1. Approval of PTBC EGM Minutes held 29th February 2024
 2. Approval of PTBC EGM Minutes held 24th April 2024
 3. Approval of PTBC EGM VOC Minutes 26th April 2024
 4. Rescind Motion 3 – April PTBC EGM - Village Gates and Road Upgrade
 5. Engagement of Lawyer to advise on dispute with Hydro Vision
 6. Removal of two trees between Lot 83 & Lot 91 to enable Energex power & FTTH comms services to be installed.
 7. Approval of the engagement of TEW to undertake the supply and installation of electrical infrastructure works as required by Energex.
 8. PTBC to requests the Directors for the Company, move to instruct the Company Secretary (SCCSL), to commence recruitment of an Independent Director and Chair
 9. PTBC rejects the motion of the PBC EGM held 30th May 2024, seeking to remove Mr Stephen Anderson from the SCCSL board.
 10. PTBC approves the lease of the Ventrac Diesel Tractor with mulching equipment to control the Corella population.
 11. PTBC partially surrender Easement B on SP236703 as far as it encumbers Lot 52 SP327424, Lot 58 SP314518 and Lot 83 on SP320252

6. Correspondence for Information – See PTBC EC booklet

No	Date	From	To	Regarding
1	26 April 2024	BCCMA	PTBC	Amendment to SCRA – Section 55
2	7 May 2024	PTBC	Resident in Colvillia	Lot 90 – Decision Notice regarding Bamboo and large trees on GC
3	7 May 2024	PTBC	Resident in Banksia Lakes	Lot 45 – Request for Tuckeroos
4	21 May 2024	PBC Chairperson	PTBC Chairperson	Request to rescind Motion 3 from PTBC EGM held on April 2024

Correspondence for Action

No	Date	From	To	Regarding
1	27 June 2023	MBA Lawyers	PBC EC	Amending Section 56 advice

7. Business Arising

1. Asset Improvement Programme Update

8. General Business

9. Closure of Meeting

10. Next meeting on Thursday 29th August 2024 at 10:00am

**GENERAL INSTRUCTIONS
EXTRAORDINARY GENERAL MEETING NOTICE**

INTERPRETATIONS

Section 39 of the *Sanctuary Cove Resort Act 1985* sets out the following interpretations for

VOTING RIGHTS Any powers of voting conferred by or under this part may be exercised

- (a) in the case of a proprietor who is an infant-by the proprietor's guardian.
- (b) in the case of a proprietor who is for any reason unable to control the proprietor's property-by the person who for the time being is authorised by law to control that property:
- (c) in the case of a proprietor which is a body corporate-by the person nominated pursuant to section 38 by that body corporate.

Part 3, Section 22 of the *Sanctuary Cove Resort Act 1985*, sets out the following interpretation for:

SPECIAL RESOLUTION

'Special Resolution' means a resolution, which is:

- (a) passed at a duly convened general meeting of the principal body corporate by the members whose lots (whether initial lots, secondary lots, group title lots or building unit lots) have an aggregate lot entitlement of not less than 75% of the aggregate of all lot entitlements recorded in the principal body corporate roll.

Part 3, Division 2B, 47D of the *Sanctuary Cove Act 1985*, sets out the following for proxies for General meetings of the Principal Body Corporate.

APPOINTMENT OF PROXY

- (a) must be in approved form; and
- (b) must be in the English language; and
- (c) cannot be irrevocable; and
- (d) cannot be transferred by the holder of the proxy to a third person; and
- (e) lapses at the end of the principal body corporate's fiscal year or at the end of a shorter period stated in the proxy; and
- (f) may be given by any person who has the right to vote at a general meeting; and
- (g) subject to the limitations contained in this division, may be given to any individual; and
- (h) must appoint a named individual

Proxy form for Body Corporate meetings

Building Units and Group Titles Act 1980

Section 1 – Body corporate secretary details

Name: The Secretary
Address of scheme: C/- Sanctuary Cove Primary Thoroughfare Body Corporate, PO Box 15, SANCTUARY COVE, 4212

Section 2 – Authorisation

Notes: The Regulations set out a number of restrictions on the use of proxies, including an ability for the body corporate to further restrict their use including prohibition. If there is insufficient space, please attach separate sheets.

I/we

Name of owner 1:

Signature: Dated: ___/___/___

Name of owner 2:

Signature: Dated: ___/___/___

being the Proprietor/s of the following Lot/s

Lot number/s: Plan number:

Name of Body Corporate:

.....

hereby appoint,

Proxy (full name):

as my/our proxy to vote on my/our behalf (including adjournments) at (please tick one)

- [] The body corporate meeting to be held on ___/___/___
[] All body corporate meetings held before ___/___/___ (expiry date)
[] All body corporate meetings held during the rest of the body corporate's financial year unless I/we serve you with a prior written withdrawal of the appointment

unless I/we serve you with a prior written withdrawal of the appointment of Proxy.

Signature of proxy holder: Dated: ___/___/___

Residential address:

Suburb: State: Postcode:

Postal address:

Suburb: State: Postcode:

Information about Proxies

This page is for information only and not part of the prescribed form.

Lot Owners can appoint a trusted person as their representative at meetings, to vote in ballots or represent them on the committee. This person is your proxy.

To authorise a proxy, you must use the prescribed form and deliver it to the owner's corporation secretary. If appointing a Power of Attorney as a proxy, you should attach a copy of the Power of Attorney.

Proxies automatically lapse 12 months after the form is delivered to the secretary unless an earlier date is specified.

Proxies must act honestly and in good faith and exercise due care and diligence. Proxies cannot transfer the proxy to another person.

A Lot Owner can revoke the authorisation at any time and choose to vote on a certain issue or attend a meeting.

It is illegal for someone to coerce a Lot Owner into making another person their proxy.

Owners' corporations must keep the copy of the Proxy authorisation for 12 months.

VOTING PAPER

Extraordinary General Meeting for Sanctuary Cove Primary Thoroughfare Body Corporate GTP 201

Location of meeting: Meeting Room 1, Sanctuary Cove Body Corporate Services
Shop 1A, Masthead Way, Sanctuary Cove, QLD 4212

Date and time of meeting: Thursday 27th June 2024 – 10:00am

Instructions

If you want to vote using this voting paper, then **circle or tick** either **YES**, **NO** or **ABSTAIN** opposite each motion you wish to vote on. You may vote for as few or as many motions as you wish. It is not necessary to vote on all motions.

After signing the completed voting paper, forward it promptly to the Secretary at the address shown at the end of the agenda.

MOTIONS

1	Approval of PTBC EGM Minutes held 29th February 2024 (Agenda Item 5.1)	ORDINARY RESOLUTION
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Proposed by: Statutory Motion

THAT the Minutes of the PTBC Extraordinary General Meeting held on 29th February 2024 be accepted as a true and correct record of the proceedings of the meeting.

Yes	
No	
Abstain	

2	Approval of PTBC EGM Minutes held 24th April 2024 (Agenda Item 5.2)	ORDINARY RESOLUTION
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Proposed by: Statutory Motion

THAT the Minutes of the PTBC Extraordinary General Meeting held on 24th April 2024 be accepted as a true and correct record of the proceedings of the meeting.

Yes	
No	
Abstain	

3	Approval of PTBC EGM VOC Minutes 26th April 2024 (Agenda Item 5.3)	ORDINARY RESOLUTION
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Proposed by: Statutory Motion

<p>THAT the VOC Minutes of the PTBC Extraordinary General Meeting held on 26th April 2024 be accepted as a true and correct record of the proceedings of the meeting.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Yes</td> <td style="width: 50%;"></td> </tr> <tr> <td>No</td> <td></td> </tr> <tr> <td>Abstain</td> <td></td> </tr> </table>	Yes		No		Abstain	
Yes							
No							
Abstain							

4	Rescind Motion 3 – April PTBC EGM - Village Gates and Road Upgrade (Agenda Item 5.4)	ORDINARY RESOLUTION
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Proposed by: PBC Representative

<p>THAT the PTBC EGM notes and accepts to rescind motion 3 (below), which was passed at the PTBC EGM meeting held on 24th of April 2024:</p> <p><i>THAT acknowledging the need to align the proposed project works, the PTBC agrees that Mulpha Developments will take on project management responsibilities for the roadworks upgrade of the area, encompassing paving, kerbing, and civil components formerly managed by the PTBC. All costs associated with these works, as mutually agreed upon, will be appropriately allocated and on charged to the PTBC by Mulpha Developments at cost price.</i></p> <p><i>Note: The landscaping aspect of the project will be executed by the PTBC upon the project's completion.</i></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Yes</td> <td style="width: 50%;"></td> </tr> <tr> <td>No</td> <td></td> </tr> <tr> <td>Abstain</td> <td></td> </tr> </table>	Yes		No		Abstain	
Yes							
No							
Abstain							

5 Engagement of Lawyer to advise on dispute with Hydro Vision (Agenda Item 5.5) ORDINARY RESOLUTION

Proposed by: PTBC Chairperson

(Select only one option)

OPTION A – Committee Recommendation

THAT the PTBC authorises the engagement of Colin Biggers and Paisely to advise on a dispute that has arisen with a contractor, HydroVision, with initial fees estimated to be around \$3,000 plus GST (to be split 70/30 between the PBC and PTBC) but expenditure approved up to the amount of \$3,000 plus GST with funds to be expensed from Sinking Fund – 222601 Irrigation Control.

Yes	
No	
Abstain	

OPTION B

THAT the PTBC authorises the engagement of Marino Law to advise it on a dispute that has arisen with a contractor, Hydro Vision, with initial fees estimated to be between \$1,000 - \$1,500 plus GST (to be split 70/30 between the PBC and PTBC) but expenditure approved up to the amount of \$3,000 plus GST with funds to be expensed from Sinking Fund – 222601 Irrigation Control.

Yes	
No	
Abstain	

6 Removal of two trees between Lot 83 & Lot 91 to enable Energex power & FTTH comms services to be installed (Agenda Item 5.6) ORDINARY RESOLUTION

Proposed by: PTBC Chairperson

THAT the PTBC agrees to the removal of two trees located on the interface boundary between residential development land Lot 83 SP320252 and primary thoroughfare Lot 91 RP205597 to enable Energex and FTTH comms services to be installed in the standard services alignment of 0mm to 900mm from the interface boundary as shown in attachments – Annexure A.

Yes	
No	
Abstain	

7 Approval of the engagement of TEW to undertake the supply and installation of electrical infrastructure works as required by Energex (Agenda Item 5.7) ORDINARY RESOLUTION

Proposed by: PTBC Chairperson

THAT the PTBC EGM approve the engagement of TEW to undertake the supply and installation of electrical infrastructure works as required by Energex. Costs are to be apportioned between the PBC 70% \$222,778.80 Inc GST and PTBC 30% \$95,476.63 Inc GST with funds to be expensed from Sinking Fund – 222601 Irrigation Control.

Yes	
No	
Abstain	

FURTHER THAT, it is noted that due to the contractor's responsibility for the engineering and submission of the electrical application to Energex, only one (1) quote was sourced. Therefore, approves the reduction in the mandated number of quotes to be obtained from three (3) to one (1).

8 PTBC to request that the Directors for the Company, move to instruct the Company Secretary (SCCSL) to commence recruitment of an Independent Director and Chair (Agenda Item 5.8) ORDINARY RESOLUTION

Proposed by: PTBC Chairperson

THAT the PTBC, as a 50% shareholder in Sanctuary Cove Community Services Limited (the Company), requests that the PTBC Directors to propose the Company Secretary propose a motion to immediately commence the process of recruiting an Independent Director and Chair.

Yes	
No	
Abstain	

FURTHER THAT the Company Shareholders Agreement outlines the necessary qualifications for the role of Independent Director and Chair. The position will be advertised in the Australian Newspaper, Gold Coast Bulletin and on Seek. All enquiries and applications should be addressed to the Company Secretary in confidence. Directors will conduct final interviews and recommend the preferred candidate to the shareholders.

9 PTBC rejects the motion of the PBC EGM held 30th May 2024, seeking to remove Mr Stephen Anderson from the SCCSL board (Agenda Item 5.9) ORDINARY RESOLUTION

Proposed by: PTBC Chairperson

THAT the PTBC rejects the motion of the PBC EGM held on the 30th of May 2024, which seeks to remove Mr Stephen Anderson from the Sanctuary Cove Community Services Limited (Company) Board and requests the PBC withdraw the motion.

Yes	
No	
Abstain	

FURTHER THAT the PTBC wishes to move a vote of confidence in the integrity, honesty, and ongoing support of Mr Stephen Anderson in his role as PTBC Chair, along with Mr Barry Teeling as Directors of the PTBC to the Board of the Company.

10 PTBC approves the lease of the Ventrac Diesel Tractor with mulching equipment to control the Corella population (Agenda Item 5.11) ORDINARY RESOLUTION

Proposed by: PTBC Chairperson

THAT THE PTBC authorises the Manager to proceed with the Lease of a Ventrac Diesel tractor with mulching attachments to assist with additional measures in the control of the Corellas at Sanctuary Cove. This would add to the proposed program by Biodiversity.

Yes	
No	
Abstain	

The cost per month over a four-year lease period will be \$1,859.95 / month (non). At the end of the four years the lease will end, equipment returned or upgraded. The lease will be held by the Sanctuary Cove Golf and Country Club Pty Ltd. The outright purchase of the Ventrac Tractor 4520 would be \$75,989.10.

The Sanctuary Cove Golf and Country Club will provide the necessary labour, fuel, and maintenance costs. Should the mulching deck need to be replaced due to heavy wear and damage, the PTBC and the SC Golf and Country Club will jointly undertake to find a solution to fund a replacement deck.

Since 2019, the PTBC has spent \$99,279 (ex) or \$16,546 per year and the results have been limited. This combined program is a two-pronged attack, which targets the pest's food source.

It is expected that the Corella maintenance program with Biodiversity will cost \$23,738 and the lease of the Ventrac tractor mulcher - \$22,319– Total cost 2024/2025 - \$46,057 (ex).

PREAMBLE:

Background

Easement B was created in 2011 in the below referenced lots in former golf course land for the PTBC to maintain the easement of the land for the purpose of ensuring the high standard of aesthetic appearance of the entrance to Sanctuary Cove Village.

Ownership of the subject lots has reverted to Mulpha Sanctuary Cove (Developments) Pty Ltd (MSCD) and will be developed into residential precincts in the next few years. MSCD has undertaken to maintain the easement land as per attached letter from MSCD dated.

11	PTBC partially surrender Easement B on SP236703 as far as it encumbers Lot 52 SP327424, Lot 58 SP314518 and Lot 83 on SP320252 (Agenda Item 5.12)	RESOLUTION WITHOUT DISSENT
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Proposed by: PTBC Chairperson

THAT the PTBC resolve by **resolution without dissent** that:

- (a) the PTBC partially surrender Easement B on SP236703 insofar as it encumbers Lot 52 on SP327424, Lot 58 on SP314518 and Lot 83 on SP320252; and
- (b) the PTBC sign and provide all documents necessary to surrender Easement B on SP236703 insofar as it encumbers Lot 52 on SP327424, Lot 58 on SP314518 and Lot 83 on SP320252, including:
 - (i) Form 10 partial surrender of Easement B on SP236703 insofar as it applies to Lot 52 on SP327424 to Sanctuary Cove Golf and Country Club Holdings Limited.
 - (ii) Form 10 partial surrender of Easement B on SP236703 insofar as it applies to 58 on SP314518 and Lot 83 on SP320252 to Mulpha Sanctuary Cove (Developments) Pty Ltd; and
- (c) a copy of this resolution to lodge with each Form 10.

Yes	
No	
Abstain	

GTP: 201

Lot Number:

Unit Number:

I/We require that this voting paper, completed by me/us be recorded as my/our vote in respect of the motions set out above.

Name of voter: _____

Signature of vote: _____

Date: _____

**MOTION
INFORMATION**

MINUTES OF PTBC EXTRAORDINARY GENERAL MEETING
For Sanctuary Cove Primary Thoroughfare Body Corporate GTP 201

Location of meeting: Meeting Room 1, Sanctuary Cove Body Corporate Services, Sanctuary Cove, QLD 4212
Date and time of meeting: Thursday 29th February 2024
1:21pm – 1:27pm
Chairperson: Mr Stephen Anderson

ATTENDANCE

The following members were Present at the Meeting:

Position: Chairperson Member Name: Mulpha Sanctuary Cove Investments Pty Ltd Lot 6 Rep: Mr Stephen Anderson

Position: Ordinary Member Name: Principal Body Corporate GTP 202 Rep: Mr Stuart Shakespeare

The following members were represented at the meeting by voting paper & In Person:

The following members present by Voting Paper:

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 10 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 20 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 51 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 52 SP 301179 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 52 SP 327424 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 53 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 54 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 58 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Rep Lot 16: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 1 Rep: Mr Paul Sanders

The following members were represented at the meeting by Proxy:

Position: Ordinary Member Name: Mulpha Sanctuary Cove Hotel Investments Pty Limited Lot 31 Rep: Mr Barry Teeling to Stephen Anderson

Position: Ordinary Member Name: Mulpha Sanctuary Cove Hotel Investments Pty Limited Lot 32 Rep: Mr Barry Teeling to Stephen Anderson

Position: Ordinary Member Name: Mulpha Sanctuary Cove Hotel Investments Pty Limited Lot 38 Rep: Mr Barry Teeling to Stephen Anderson

Present by Invitation:

Mr Dale St George, Secretary Ms Jodie Cornish, Minute Taker

Apologies:

Mr Barry Teeling

Mr Paul Sanders - **Paul Sanders was in attendance from 12pm for the meeting scheduled, however had to depart before meeting commenced at 1:21pm.**

A quorum was present.

Nil Conflict of Interest.

The Meeting was not recorded.

MOTIONS

1 Approval of PTBC EGM Minutes held 9th February 2024 (Agenda Item 5.1) CARRIED

Proposed by: Statutory Motion

THAT the Minutes of the PTBC Extraordinary General Meeting held on 9th February 2024 be accepted as a true and correct record of the proceedings of the meeting.

Yes	4
No	0
Abstain	0

Members Name	Yes	No	Abstain
Stephen Anderson	X		
Paul Sanders	X		
Barry Teeling	X		
Stuart Shakespeare	X		

2 PTBC instructs the Company (SCCSL) to source an Independent Director for the SCCSL Board (Agenda Item 5.2) CARRIED

Proposed by: PTBC Chairperson

THAT the PTBC requests the Board of the Company (SCCSL) to propose a motion to advertise externally for the appointment of an Independent Director to the Board of SCCSL and Subsidiaries. This action will commence by issuing correspondence to the Company (SCCSL) by the PTBC Secretary.

Yes	3
No	1
Abstain	0

Members Name	Yes	No	Abstain
Stephen Anderson	X		
Paul Sanders	X		
Barry Teeling	X		
Stuart Shakespeare		X	

Proposed by: PBC Secretary

THAT the PTBC agrees to the pricing changes to the Strata Corporation Price Schedule which reflects either a reduction in pricing or maintaining the current pricing as a result of the proposed Strata Manager Services Agreement renewal between StrataMax and SCCSL.

Yes	4
No	0
Abstain	0

Managing Agent:

Service	Existing	New	Comments
StrataMax Fee	\$1,000 p/annum	\$1,000 p/annum	No change
Level 1 Support	\$120 p/hour	\$120 p/hour	No Change
Infrastructure Support	\$160 p/hour	\$160 p/hour	No Change
Project Management	\$160 p/hour	\$160 p/hour	No Change
Level 2/3 Support	\$160 p/hour	\$160 p/hour	No Change
Specialised Consultancy	\$200 p/hour	\$200 p/hour	No Change
Ongoing Training	\$160 p/hour or \$1,000 full day	\$160 p/hour or \$1,000 full day	No Change
Full Service	\$160 p/hour	\$160 p/hour	No Change
Software Conversion	\$160 p/hour	\$160 p/hour	No Change

StrataMax:

Service	Existing	New	Comments
StrataMax Licence Fee	Standard Fee: \$15.95 lot p/annum in advance Alternate Fee: \$15.95 lot p/annum in advance	Standard Fee: \$17.80 lot p/annum in advance Alternate Fee: \$14.50 lot p/annum in advance	New agreement price per lot p/annum reduced by 9.1%

Strata Pay:

Service	Existing	New	Comments
Aust Post – p/payment	Standard Fee: \$3.00 Alter Fee: \$1.60	Standard Fee: \$3.00 Alter Fee: \$0.95	New Agreement has (\$0.65) 41% reduction in transaction fees currently applied to owner payments made through the StrataPay Levy Collection System
BPAY – p/payment	Standard Fee: \$1.60 Alter Fee: \$1.60	Standard Fee: \$1.60 Alter Fee: \$0.95	
IVR – p/payment	Standard Fee: \$1.60 Alter Fee: \$1.60	Standard Fee: \$1.60 Alter Fee: \$0.95	
Web – p/payment	Standard Fee: \$1.60 Alter Fee: \$1.60	Standard Fee: \$1.60 Alter Fee: \$0.95	
Cheque payment – p/payment	Standard Fee: \$1.60 Alter Fee: \$1.60	Standard Fee: \$1.60 Alter Fee: \$0.95	
Direct Debit – p/payment	Standard Fee: \$1.60 Alter Fee: \$1.60	Standard Fee: \$1.60 Alter Fee: \$0.95	
EFT – p/payment	Standard Fee: \$1.60 Alter Fee: \$1.60	Standard Fee: \$1.60 Alter Fee: \$0.95	
C/C & Merch Fee - % of the payment amount	S/F: Visa 1.65% A/F: Visa 1.65%	S/F: Visa 1.65% A/F: Visa 1.65%	No Change
	S/F: M/Card 1.65% A/F: M/Card 1.65%	S/F: M/Card 1.65% A/F: M/Card 1.65%	No Change
	S/F: Amex 2.40% A/F: Amex 2.40%	S/F: Amex 1.65% A/F: Amex 1.65%	0.75% Absolute Reduction
	S/F: Diner 2.65% A/F: Diner 2.65%	S/F: Diner 2.65% A/F: Diner 2.65%	No Change
Dishonour or rejected	\$35.00	\$35.00	No Change
StrataPay payables	S/F: \$0.55 A/F: Free	S/F: \$0.55 A/F: Free	No Change

StrataCash:

Service	Existing	New	Comments
Period Payment Fee	\$2.20 per payment	\$2.20 per payment	No Change
Period Payment Est	\$15.00 per est	\$15.00 per est	No Change
Manual Intervention of Bureau Processing	\$10.00 per occasion	\$10.00 per occ	

Members Name	Yes	No	Abstain
Stephen Anderson	X		
Paul Sanders	X		
Barry Teeling	X		
Stuart Shakespeare	X		

4 Proposed amendment to Section 56 of SCRA and authorisation to sign the draft deed (Agenda Item 5.4) WITHDRAWN

Proposed by: Mulpha Representative SC Hotel Investments Lot 31, 32 & 38

THAT the PTBC supports the wording of the proposed amended Section 56 of the Sanctuary Cove Resort Act (SCRA) and authorises the PTBC to sign the draft deed as per attachment 1. The proposed wording of the amended Section 56 is as follows:

Yes	
No	
Abstain	

56 Occupier’s right to use thoroughfares

- (1) *Subject to the application of any primary thoroughfare by-law or any secondary thoroughfare by-law, only persons who:*
 - a) *Are members of the Principal Body Corporate; or*
 - b) *Have a lawful right to:*
 - i. *be on land contained in the General Residential Zone; or*
 - ii. *be on land contained in the Golf Course Zone, have a right of way over the primary thoroughfare and the secondary thoroughfare.*
- (2) *A primary thoroughfare by-law or a secondary thoroughfare by-law that, but for this subsection, would have the effect of unreasonable restricting the persons permitted in subsection (1) from having access to or access from the land referred to in subsection (1)(b) will have no force or effect unless the person for the time being entitled to occupy that land consents in writing to that restriction.*
- (3) *For the purposes of this section, where land is the subject of a registered mortgage, the mortgagee shall be deemed to be a person who lawfully occupies that land.*

NOTE: The Chairperson withdrew the motion until the following meeting.

Members Name	Yes	No	Abstain
Stephen Anderson			
Paul Sanders			
Barry Teeling			
Stuart Shakespeare			

Next meeting Wednesday 24th April 2024 @ 12:30pm

Meeting Closed at 1:27pm

Chairman



MINUTES OF PTBC EXTRAORDINARY GENERAL MEETING

For Sanctuary Cove Primary Thoroughfare Body Corporate GTP 201

Location of meeting: Meeting Room 1, Sanctuary Cove Body Corporate Services, Sanctuary Cove, QLD 4212

Date and time of meeting: Wednesday 24th April 2024
10:00am – 10:07am

Chairperson: Mr Stephen Anderson

ATTENDANCE

The following members were Present at the Meeting:

Position: Chairperson Member Name: Mulpha Sanctuary Cove Investments Pty Ltd Lot 6 Rep: Mr Stephen Anderson

Position: Ordinary Member Name: Mulpha Sanctuary Cove Hotel Investments Pty Limited Lot 31 Rep: Mr Barry Teeling

Position: Ordinary Member Name: Mulpha Sanctuary Cove Hotel Investments Pty Limited Lot 32 Rep: Mr Barry Teeling

Position: Ordinary Member Name: Mulpha Sanctuary Cove Hotel Investments Pty Limited Lot 38 Rep: Mr Barry Teeling

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 10 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 20 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 51 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 52 SP 301179 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 52 SP 327424 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 53 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 54 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 58 Rep: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Rep Lot 16: Mr Paul Sanders

Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Lot 1 Rep: Mr Paul Sanders

The following members were represented at the meeting by voting paper & In Person:

The following members present by Voting Paper:

Position: Ordinary Member Name: Principal Body Corporate GTP 202 Rep: Mr Stuart Shakespeare

The following members were represented at the meeting by Proxy:

Present by Invitation:

Mr Dale St George, Secretary
Ms Jodie Cornish, Minute Taker
Mrs Cheryl McBride – PBC representative

Apologies:

Mr Stuart Shakespeare

A quorum was present.
Nil Conflict of Interest.
The Meeting was not recorded.

MOTIONS

1 Approval of PTBC EGM Minutes held 29th February 2024 (Agenda Item 5.1) ORDINARY RESOLUTION WITHDRAWN

Proposed by: Statutory Motion

RESOLVED that the Minutes of the PTBC Extraordinary General Meeting held on 29th February 2024 be accepted as a true and correct record of the proceedings of the meeting.

Yes	
No	
Abstain	

NOTE: Withdrawn to amend Paul Sanders was in attendance from 12pm for the meeting scheduled, however had to depart before meeting commenced at 1:29pm.

Members Name	Yes	No	Abstain
Stephen Anderson			
Paul Sanders			
Barry Teeling			
Stuart Shakespeare			

2 Approval of PTBC EGM VOC Minutes 20th March 2024 (Agenda Item 5.2) ORDINARY RESOLUTION CARRIED

Proposed by: Statutory Motion

RESOLVED that the VOC Minutes of the PTBC Extraordinary General Meeting held on 20th March 2024 be accepted as a true and correct record of the proceedings of the meeting.

Yes	4
No	0
Abstain	0

Members Name	Yes	No	Abstain
Stephen Anderson	X		
Paul Sanders	X		
Barry Teeling	X		
Stuart Shakespeare	X		

3 Village Gates and Road Upgrade (Agenda Item 5.3) ORDINARY RESOLUTION CARRIED

Proposed by: Statutory Motion

RESOLVED that acknowledging the need to align the proposed project works, the PTBC agrees that Mulpha Developments will take on project management responsibilities for the roadworks upgrade of the area, encompassing paving, kerbing, and civil components formerly managed by the PTBC. All costs associated with these works, as mutually agreed upon, will be appropriately allocated and on charged to the PTBC by Mulpha Developments at cost price.

Note: The landscaping aspect of the project will be executed by the PTBC upon the project's completion.

Yes	3
No	1
Abstain	0

Members Name	Yes	No	Abstain
Stephen Anderson	X		
Paul Sanders	X		
Barry Teeling	X		
Stuart Shakespeare		X	

4 PTBC instructs the Company (SCCSL) to source an Independent Director for the SCCSL Board (Agenda Item 5.4) ORDINARY RESOLUTION CARRIED

Proposed by: PTBC Chairperson

RESOLVED that the PTBC requests the Board of the Company (SCCSL) to propose a motion to advertise externally for the appointment of an Independent Director to the Board of SCCSL and Subsidiaries. This action will commence by issuing correspondence to the Company (SCCSL) by the PTBC Secretary.

Yes	3
No	1
Abstain	0

Members Name	Yes	No	Abstain
Stephen Anderson	X		
Paul Sanders	X		
Barry Teeling	X		
Stuart Shakespeare		X	

Next meeting Thursday 27th June 2024 @ 10:00am

Meeting Closed at 10:07am

Chairman



**MINUTES OF EXTRAORDINARY GENERAL MEETING
VOTING OUTSIDE COMMITTEE MEETING
OF THE PRIMARY THOROUGHFARE BODY CORPORATE**

Location of meeting: Voting Outside Committee meeting
Date and time of meeting: Friday 26th April 2024
Meeting start time: 4:05pm **Meeting finish time:** 4:10pm

Attendance

The following Committee members were present by voting paper:
Position: Chairperson Member Name: Mulpha Sanctuary Cove Investments Pty Ltd Rep: Mr Stephen Anderson
Position: Ordinary Member Name: Mulpha Sanctuary Cove Developments Pty Limited Rep: Mr Barry Teeling
Position: Ordinary Member Name: Sanctuary Cove Golf and Country Club Holdings Limited Rep: Mr Paul Sanders

Quorum

A Quorum was present for this meeting.

MOTIONS

1	Approval for the commissioning of SANDMAP to complete scope of further works associating with mapping the profile and depths of the catchment lakes located within Sanctuary Cove.	ORDINARY RESOLUTION
		CARRIED

Proposed by: PTBC Secretary

THAT the PTBC EGM approves the commissioning of SANDMAP, to complete the scope of work of the lake system and water management system within the Sanctuary Cove Golf Course at a cost of \$41,000 (ex gst).

Yes	3
No	0
Abstain	0

The scope of work will include:

- mobilisation, EMP, JSEA and WMS Preparation
- Probing 10-20m nominal grid for 24 catchment lakes
- Reporting and drafting outcomes

Two quotes were sourced:

SANDMAP - \$41,000 (ex gst)
Marine & Earth Sciences - \$46,725 (ex gst)

Chairperson: _____

From: sjandos001@gmail.com
To: [Jodie Syrett](#)
Subject: FW: Village Gate Relocation Project-
Date: Friday, 24 May 2024 9:14:53 AM

Hi Jodie

Can you please ensure this is on the agenda for the next PTBC meeting?

Cheers

Steve

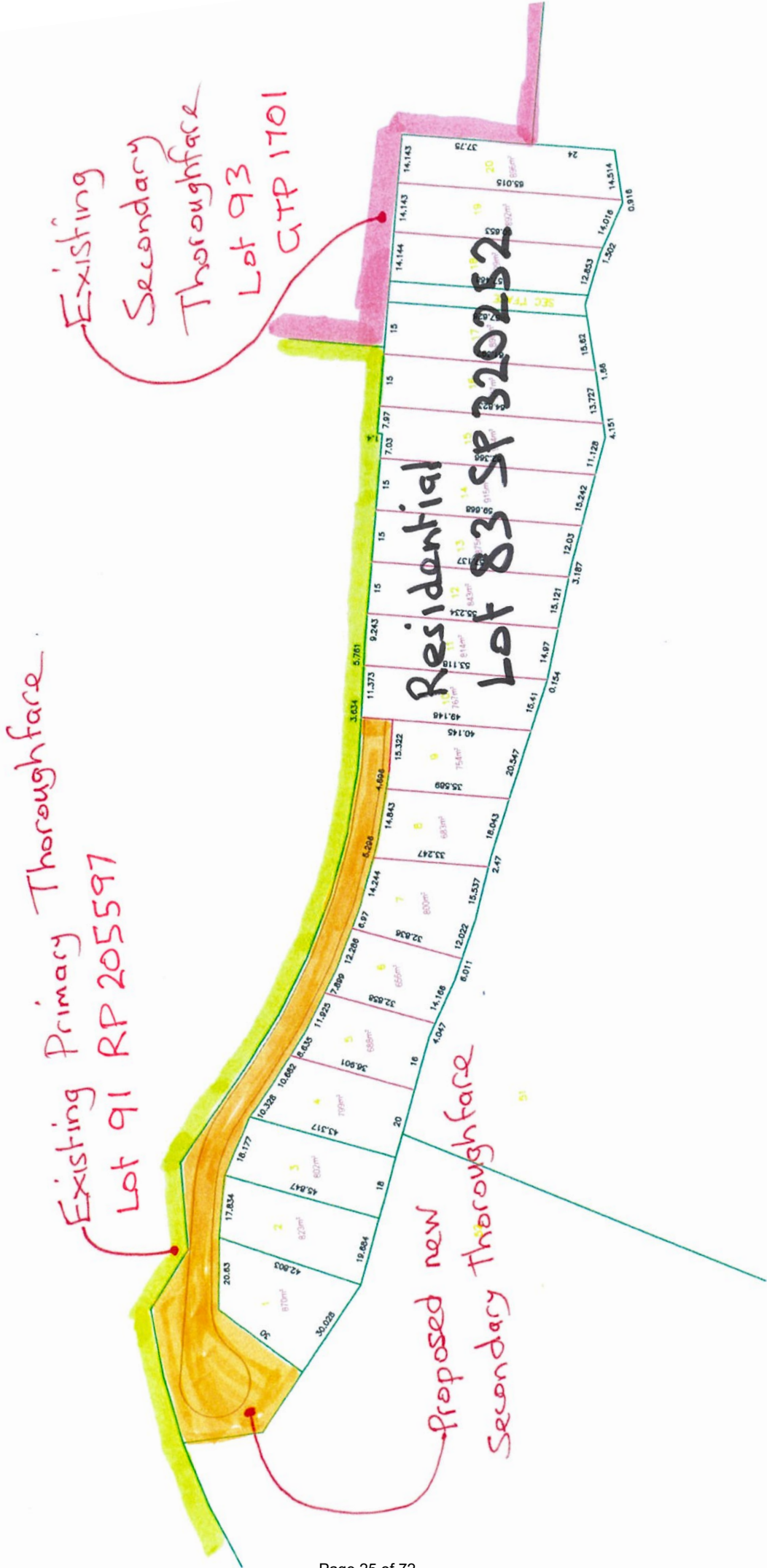
From: stuart@shakespeares.info <stuart@shakespeares.info>
Sent: Tuesday, May 21, 2024 5:14 PM
To: barry.teeling@mulpha.com.au
Cc: sjandos001@gmail.com; Cheryl.McBride@teamleisure.com; Jodie.Syrett@scove.com.au
Subject: Village Gate Relocation Project-

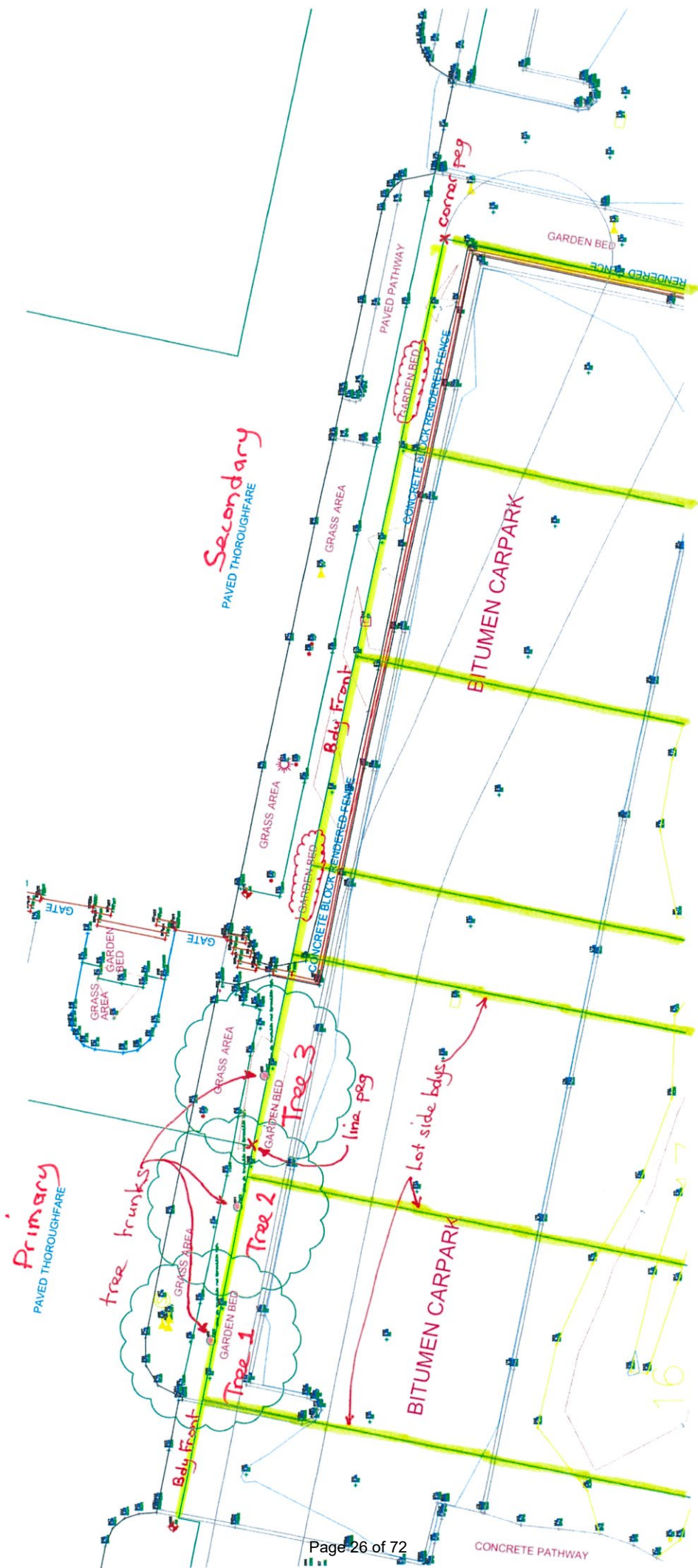
Hi Barry

As a follow up on your statement at the 8 May community information event, I confirm on behalf of the PBC, that Mulpha will be bearing all costs related to the village gate relocation project.

The April PTBC EGM Motion 3 needs to be rescinded at the forthcoming PTBC EGM, to accord with this commitment.

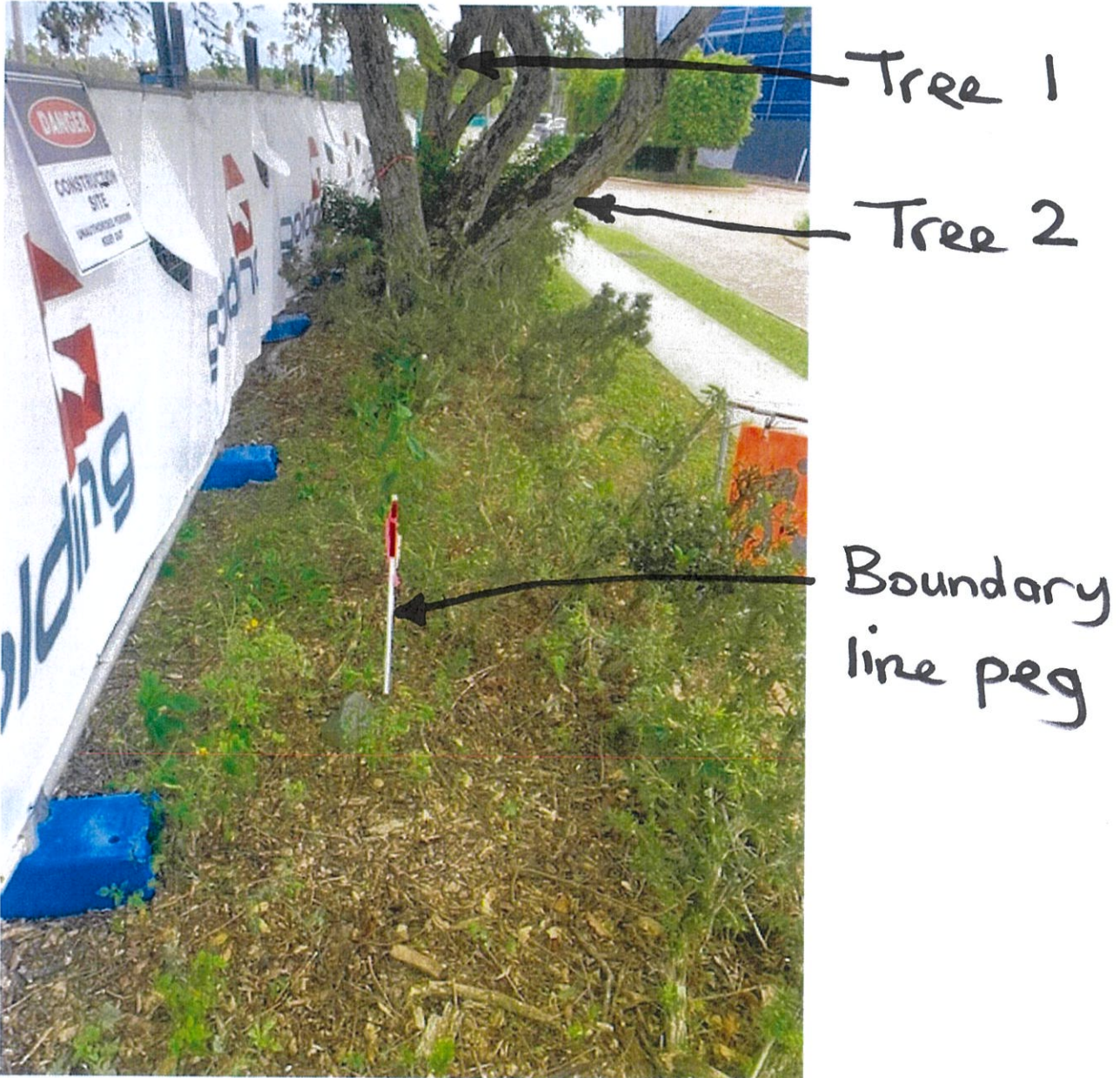
Regards
Stuart Shakespeare
PBC Chairperson





Jeff Ray

From: Jeff Ray
Sent: Thursday, 2 May 2024 12:18 PM
To: Jeff Ray




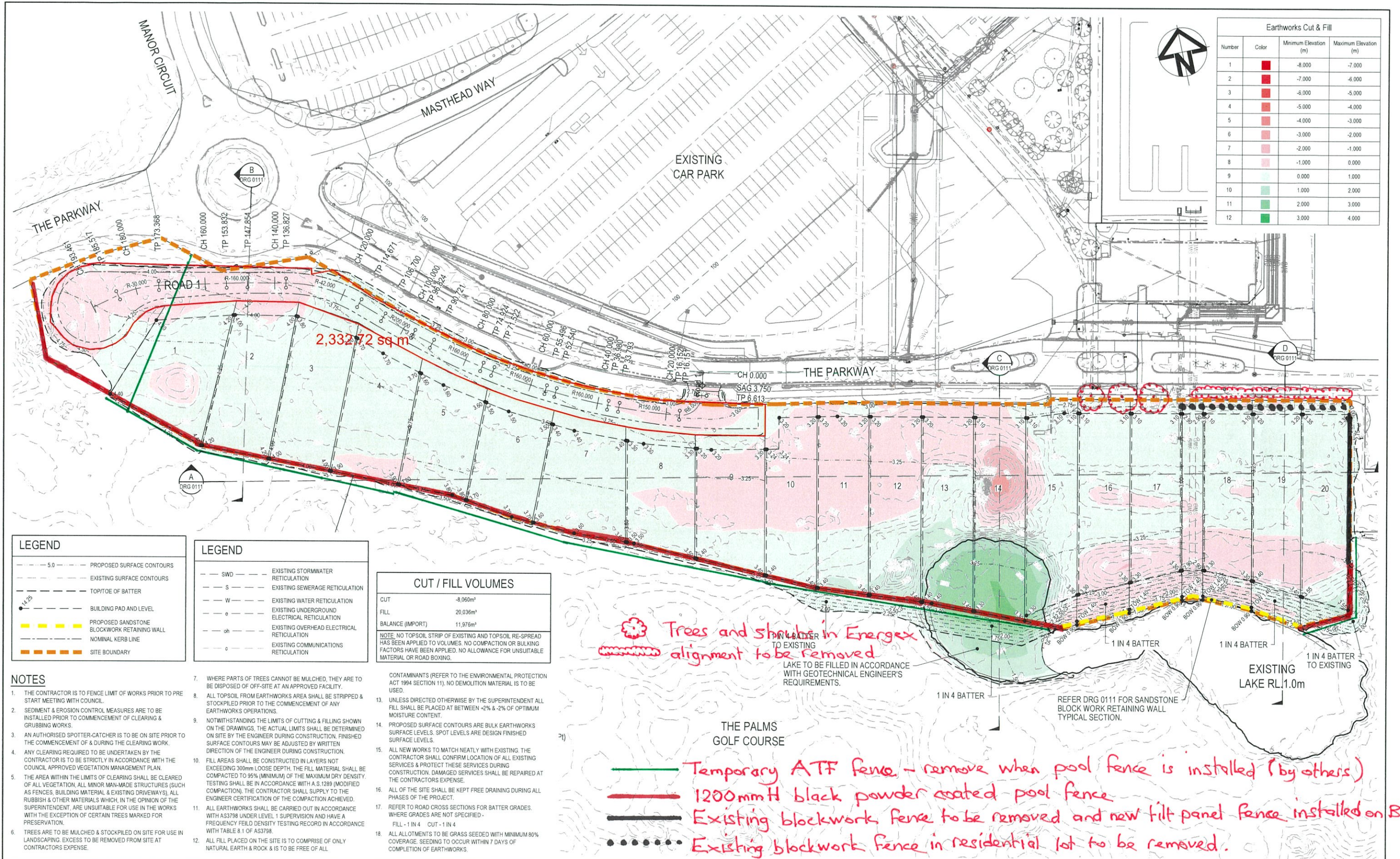
Trees located on boundary between Lot 83 SP 320252 (residential development land) and primary thoroughfare Lot 91 on RP 205597

LOCAL AUTHORITY	POLE ALIGNMENT	U/G ALIGNMENT	SITUATION	DRAWING REF.	COMMENTS
SOUTHERN					
SCENIC RIM REGIONAL COUNCIL					
	3.0m centre from RP Align	0-0.9m from RP Align (with Gas & Telecom)	For footpaths 4.0m min wide	R-02 R-03	
REDLAND CITY COUNCIL	2.95m centre from RP Align	0-0.9m from RP Align (preferably low side)	For all footpath widths	R-RSC-9	
LOGAN CITY COUNCIL	3.075m centre from RP Align	0-0.75m from RP Align	For footpaths min 3.5m wide	8-00392,8-00393	
CITY OF GOLD COAST COUNCIL	Streetlight Pole Only ≥ 0.7 m from face of kerb ≥ 1.0 m from face of kerb at intersections	0-0.9m from RP Align (includes Telecom & Cable TV)	For footpaths 4.5-6.0m wide and rural residential	02-005	
	3m centre from RP Align		For RURAL sub-arterial and arterial roads	02-005	

NOTE: These alignments are provided as a guide only and may be varied by Councils from time to time, and for special locations. Project Managers shall ensure that alignments for electricity reticulation and street lighting works are approved by the relevant Council.

This information is duplicated in the Overhead Design Manual Section 2 Subsection 9.

D	DATE	03/07/2018	 © COPYRIGHT 2019 ENERGEX This drawing must not be reproduced in part or whole without written permission from ENERGEX	UNDERGROUND DISTRIBUTION CONSTRUCTION MANUAL		WORD	
APP'D	C. Noel			APP'D	R. English	6229-A4 D	
CKD	A. Bletchly			DATE	10/10/2008	SECTION	SUB-SECT.
ATHR	L. Burton			REC'D		C2	2.3
CoGC alignment updates				CKD	D. Taylor	Sheet 4 of 4	
			AUTHR	A. McCook	FILE	udc-C2-2.3D.docx	



5.0	PROPOSED SURFACE CONTOURS
---	EXISTING SURFACE CONTOURS
---	TOP/TOE OF BATTER
●	BUILDING PAD AND LEVEL
---	PROPOSED SANDSTONE BLOCKWORK RETAINING WALL
---	NOMINAL KERB LINE
---	SITE BOUNDARY

---	EXISTING STORMWATER RETICULATION
---	EXISTING SEWERAGE RETICULATION
---	EXISTING WATER RETICULATION
---	EXISTING UNDERGROUND ELECTRICAL RETICULATION
---	EXISTING OVERHEAD ELECTRICAL RETICULATION
---	EXISTING COMMUNICATIONS RETICULATION

- NOTES**
- THE CONTRACTOR IS TO FENCE LIMIT OF WORKS PRIOR TO START MEETING WITH COUNCIL.
 - SEDIMENT & EROSION CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF CLEARING & GRUBBING WORKS.
 - AN AUTHORISED SPOTTER-CATCHER IS TO BE ON SITE PRIOR TO THE COMMENCEMENT OF & DURING THE CLEARING WORK.
 - ANY CLEARING REQUIRED TO BE UNDERTAKEN BY THE CONTRACTOR IS TO BE STRICTLY IN ACCORDANCE WITH THE COUNCIL APPROVED VEGETATION MANAGEMENT PLAN.
 - THE AREA WITHIN THE LIMITS OF CLEARING SHALL BE CLEARED OF ALL VEGETATION. ALL MINOR MAN-MADE STRUCTURES (SUCH AS FENCES, BUILDING MATERIAL & EXISTING DRIVEWAYS), ALL RUBBISH & OTHER MATERIALS WHICH, IN THE OPINION OF THE SUPERINTENDENT, ARE UNSUITABLE FOR USE IN THE WORKS WITH THE EXCEPTION OF CERTAIN TREES MARKED FOR PRESERVATION.
 - TREES ARE TO BE MULCHED & STOCKPILED ON SITE FOR USE IN LANDSCAPING. EXCESS TO BE REMOVED FROM SITE AT CONTRACTORS EXPENSE.

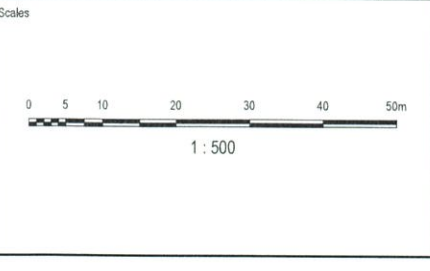
- WHERE PARTS OF TREES CANNOT BE MULCHED, THEY ARE TO BE DISPOSED OF OFF-SITE AT AN APPROVED FACILITY.
- ALL TOPSOIL FROM EARTHWORKS AREA SHALL BE STRIPPED & STOCKPILED PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS OPERATIONS.
- NOTWITHSTANDING THE LIMITS OF CUTTING & FILLING SHOWN ON THE DRAWINGS, THE ACTUAL LIMITS SHALL BE DETERMINED ON SITE BY THE ENGINEER DURING CONSTRUCTION. FINISHED SURFACE CONTOURS MAY BE ADJUSTED BY WRITTEN DIRECTION OF THE ENGINEER DURING CONSTRUCTION.
- FILL AREAS SHALL BE CONSTRUCTED IN LAYERS NOT EXCEEDING 300mm LOOSE DEPTH. THE FILL MATERIAL SHALL BE COMPACTED TO 95% (MINIMUM) OF THE MAXIMUM DRY DENSITY. TESTING SHALL BE IN ACCORDANCE WITH A.S. 1289 (MODIFIED COMPACTION). THE CONTRACTOR SHALL SUPPLY TO THE ENGINEER CERTIFICATION OF THE COMPACTION ACHIEVED.
- ALL EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS3798 UNDER LEVEL 1 SUPERVISION AND HAVE A FREQUENCY FIELD DENSITY TESTING RECORD IN ACCORDANCE WITH TABLE 8.1 OF AS3798.
- ALL FILL PLACED ON THE SITE IS TO COMPRISE OF ONLY NATURAL EARTH & ROCK & IS TO BE FREE OF ALL

- CONTAMINANTS (REFER TO THE ENVIRONMENTAL PROTECTION ACT 1994 SECTION 11). NO DEMOLITION MATERIAL IS TO BE USED.
- UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT ALL FILL SHALL BE PLACED AT BETWEEN -2% & 2% OF OPTIMUM MOISTURE CONTENT.
- PROPOSED SURFACE CONTOURS ARE BULK EARTHWORKS SURFACE LEVELS. SPOT LEVELS ARE DESIGN FINISHED SURFACE LEVELS.
- ALL NEW WORKS TO MATCH NEATLY WITH EXISTING. THE CONTRACTOR SHALL CONFIRM LOCATION OF ALL EXISTING SERVICES & PROTECT THESE SERVICES DURING CONSTRUCTION. DAMAGED SERVICES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL OF THE SITE SHALL BE KEPT FREE DRAINING DURING ALL PHASES OF THE PROJECT.
- REFER TO ROAD CROSS SECTIONS FOR BATTER GRADES. WHERE GRADES ARE NOT SPECIFIED - FILL - 1 IN 4 CUT - 1 IN 4
- ALL ALLOWMENTS TO BE GRASS SEEDING WITH MINIMUM 80% COVERAGE. SEEDING TO OCCUR WITHIN 7 DAYS OF COMPLETION OF EARTHWORKS.

Trees and shrubs in Energex alignment to be removed

Temporary ATF fence - remove when pool fence is installed (by others)
1200mmH black powder coated pool fence
Existing blockwork fence to be removed and new tilt panel fence installed on BD
Existing blockwork fence in residential lot to be removed.

Issue	Description	DR	CH	VE	Date
01	ORIGINAL ISSUE	DK	GM	JS	04.07.2023



Surveyor

Client

Mulpha Sanctuary Cove (Developments) Pty Ltd

FOR APPROVAL	
CONSTRUCTION SUBJECT TO APPROVAL	
© Copyright reserved	
Original Issue Signatures	Original Size
Drawn: D. KEARNEY	A1
Designed: T. DINGLE	Height Datum: AHD
Project Manager: R. PETERSEN	Grid: LOCAL
Verified: J. STOCKWELL	

Project

PARKWAY VILLAS, SANCTUARY COVE

Title

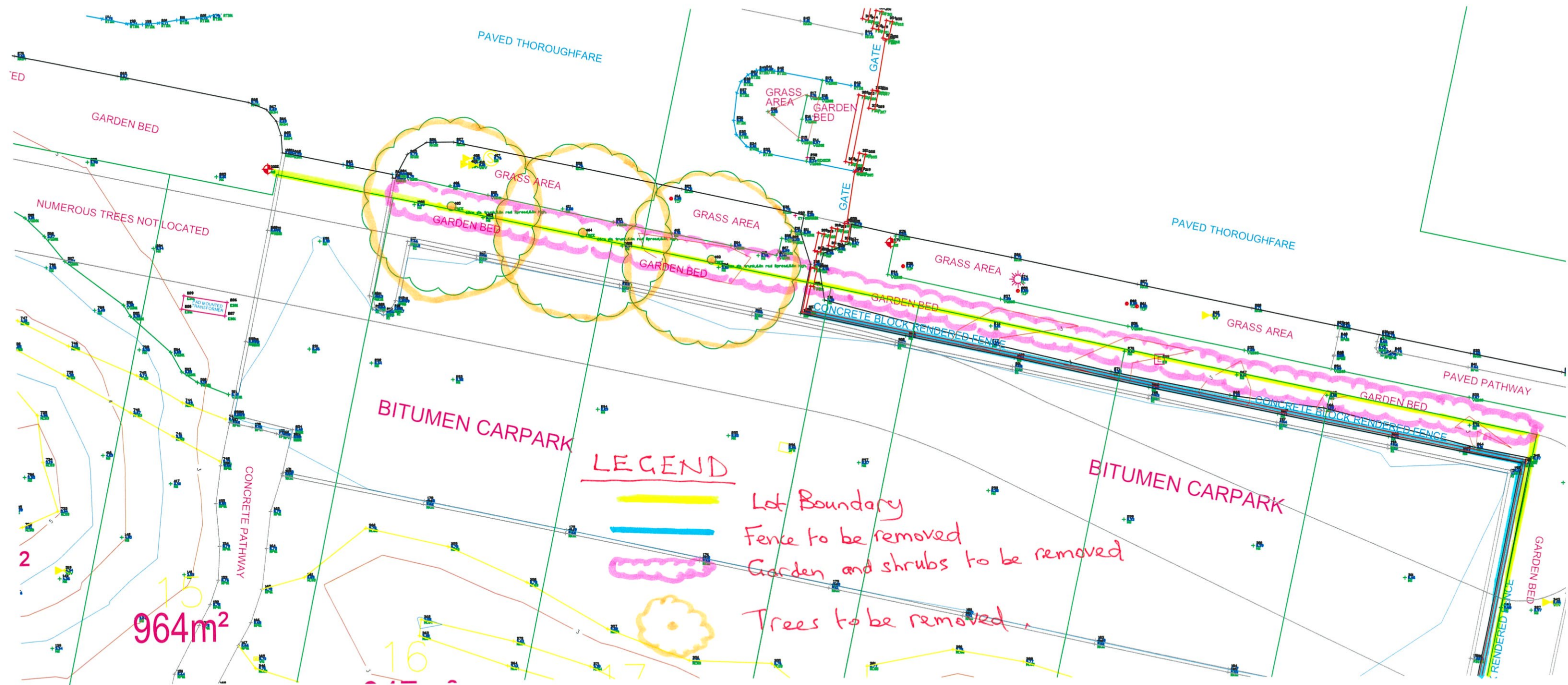
BULK EARTHWORKS CUT & FILL LAYOUT PLAN

Arcadis Australia Pacific Pty Limited
 Level 7, Seabank Building, 12-14 Marine Parade
 SOUTHPORT QLD 4215
 ABN 76 104 485 289
 Tel No: +61 7 5503 4800
 www.arcadis.com/au





Project Number: 30170121

Drawing No: PWR-AAP-BE-00-DRG-CV-0101

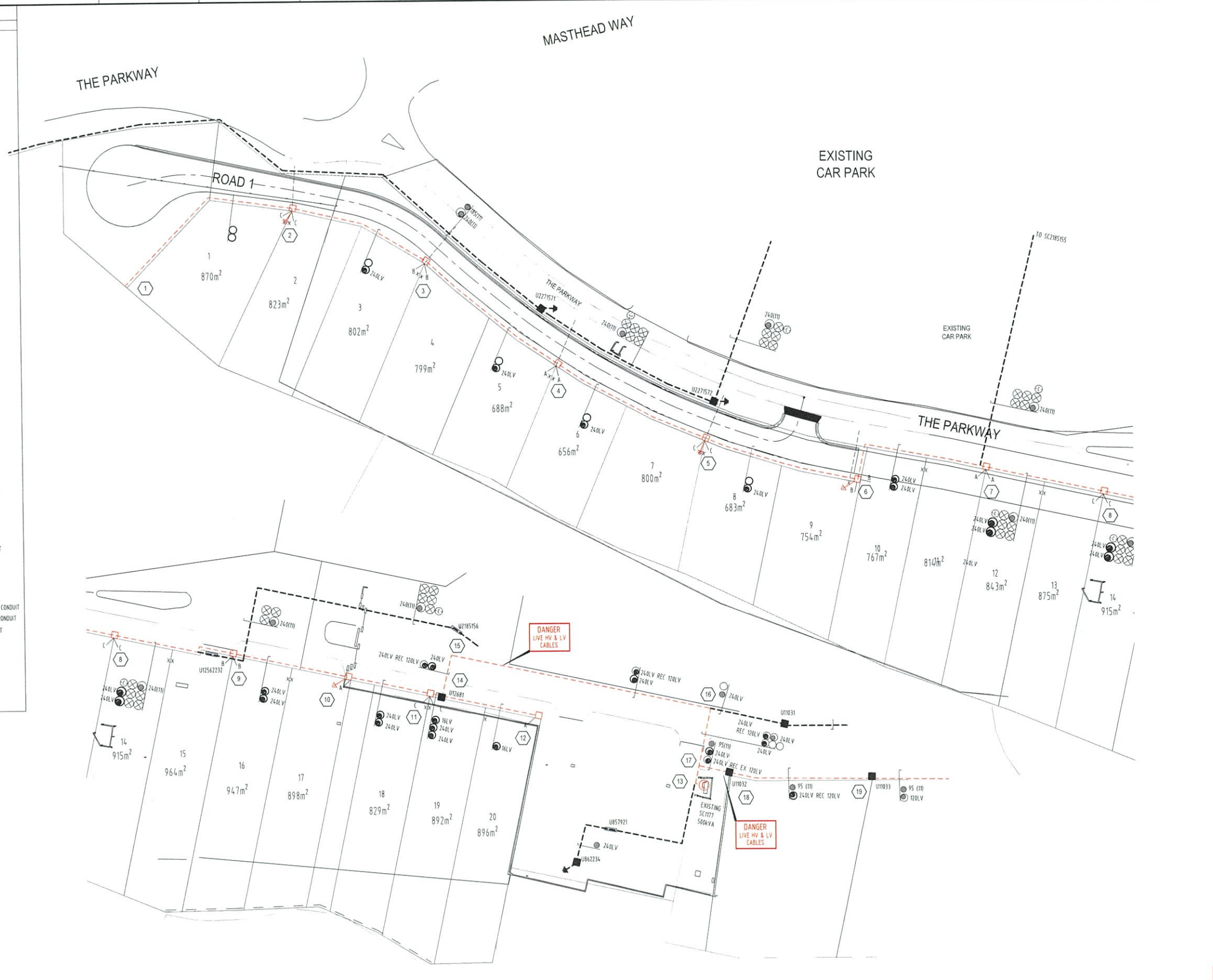
Issue: 01



LEGEND

-  Lot Boundary
-  Fence to be removed
-  Garden and shrubs to be removed
-  Trees to be removed

LEGEND	
SYMBOL	DESCRIPTION
①	STATION NUMBER
---	UNDERGROUND CABLE - PROPOSED
- - -	UNDERGROUND CABLE - EXISTING
---	OVERHEAD CABLE - PROPOSED
- - -	OVERHEAD CABLE - EXISTING
---	OVERHEAD CABLE - RECOVER
□	SERVICE PILLAR
+	LINK PILLAR
⊕	E&I PILLAR
⊗	PADMOUNT TRANSFORMER
⊙	RING MAIN UNIT
⊚	POLE MOUNTED TRANSFORMER
○	LV OR SL POLE
○	HV POLE
○	LV/HV POLE
○	LV TERMINATION
○	HV TERMINATION
○	CLOSED DISC LINK
○	OPEN DISC LINK
○	CLOSED CUT-OUTS
○	OPEN CUT-OUTS
○	CLOSED AIR BREAK SWITCH
○	OPEN AIR BREAK SWITCH
○	EARTH
○	GROUND STAY
A B	LEAD-IN (LETTERS INDICATE PHASE)
○	CONDUIT END CAP
○	LV STRAIGHT JOINT
○	PADMOUNT (LV SCHEMATIC)
○	PADMOUNT (11KV SCHEMATIC)
○	RING MAIN UNIT (SCHEMATIC)
○	125mm - PROPOSED CABLE IN EXISTING CONDUIT
○	PROPOSED CABLE & CONDUIT
○	EXISTING CABLE
○	PROPOSED EMPTY CONDUIT
○	EXISTING EMPTY CONDUIT
○	100mm - PROPOSED CABLE IN EXISTING CONDUIT
○	PROPOSED CABLE & CONDUIT
○	EXISTING CABLE
○	PROPOSED EMPTY CONDUIT
○	EXISTING EMPTY CONDUIT
○	PROPOSED ENERGEX COMMUNICATIONS CONDUIT
○	EXISTING ENERGEX COMMUNICATIONS CONDUIT
○	40mm - PROPOSED CABLE IN EXISTING CONDUIT
○	PROPOSED CABLE & CONDUIT
○	EXISTING CABLE
○	PROPOSED EMPTY CONDUIT
○	EXISTING EMPTY CONDUIT
○	11kV - DIRECT BURIED
○	LV - DIRECT BURIED



GENERAL NOTES

1 THIS DESIGN SHALL BE READ IN CONJUNCTION WITH RATE 3 STREET LIGHTING DESIGN REFER TO ENERGEX PROJ: 52900483

SPECIFICATIONS

THIS WORKS PLAN IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING ENERGEX MANUALS AND SPECIFICATIONS

- UNDERGROUND DISTRIBUTION CONSTRUCTION MANUAL
- STANDARD WORKS PROCEDURE MANUALS
- NETWORK LABELLING AND SIGNAGE MANUAL

CONSUMERS INSTALLATION SHALL COMPLY WITH AS/NZS 3000 SAA WIRING RULES

CIVIL WORKS NOTES

THE CIVIL CONTRACTOR SHALL ENSURE THAT ALL ELECTRICAL, TELECOMS (CONDUITS/PIPES) HAVE BEEN INSTALLED PRIOR TO CONSTRUCTING FOOTPATH, DRIVEWAYS, LANDSCAPING AND ROAD

CIVIL CONSULTANT / CONTRACTOR SHALL NOTIFY THE ELECTRICAL CONTRACTOR 48 HOURS PRIOR TO BACKFILLING ROAD CROSSING TRENCHES AND CONDUIT TO ALLOW INSPECTION

DRIVEWAYS AND PARKING BAYS ARE TO BE LOCATED A MINIMUM OF 10m FROM ELECTRICAL PILLARS

ELECTRICAL CONTRACTOR

Water meters to be no closer than 1.2m to property boundary to allow adequate clearance to electrical pillars.

SURVEYOR

Surveyor to place a line peg behind the proposed pillar location to satisfy Energex requirements.

ELECTRICAL CONTRACTOR

PVC protector cover strip to be installed above all Energex conduits when not allocated in Energex UG alignment.

STAFF WORKING ON THIS ESTIMATE PLEASE NOTE:

The location of other authorities services which may affect this work have not been obtained by the estimator. Contractor to obtain service information before commencing.

****ATTENTION****

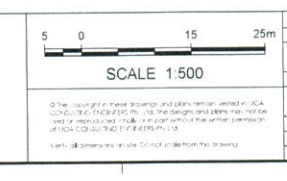
CONSTRUCTORS DO NOT change or alter job specifications unless first checking with designer.



REV	DESCRIPTION	DATE	REV	DESCRIPTION	DATE
1	PRELIMINARY ISSUE	13.10.23			
2	TENDER ISSUE	02.11.23			

MDA CONSULTING ENGINEERS

MEMBER: Level 4, 48, Cordell Avenue, Brisbane QLD 4000
 T: 07 3392 0225 F: 07 3392 0279
 M: 07 3322 7940
 E: MDA@MDAENGINEERS.COM.AU



SITE CONTACT DETAILS		ALIGNMENTS		WORKS COORDINATOR	
ENERGEX OH	ENERGEX UG	TBN TELSTRA	GAS	HP GAS	WATER
STORMWATER	SEWERAGE	OTHER			

Approved by	Checked by	Designer	Planner
V. Ouellet	V. Ouellet	U. Starowicz	U. Starowicz

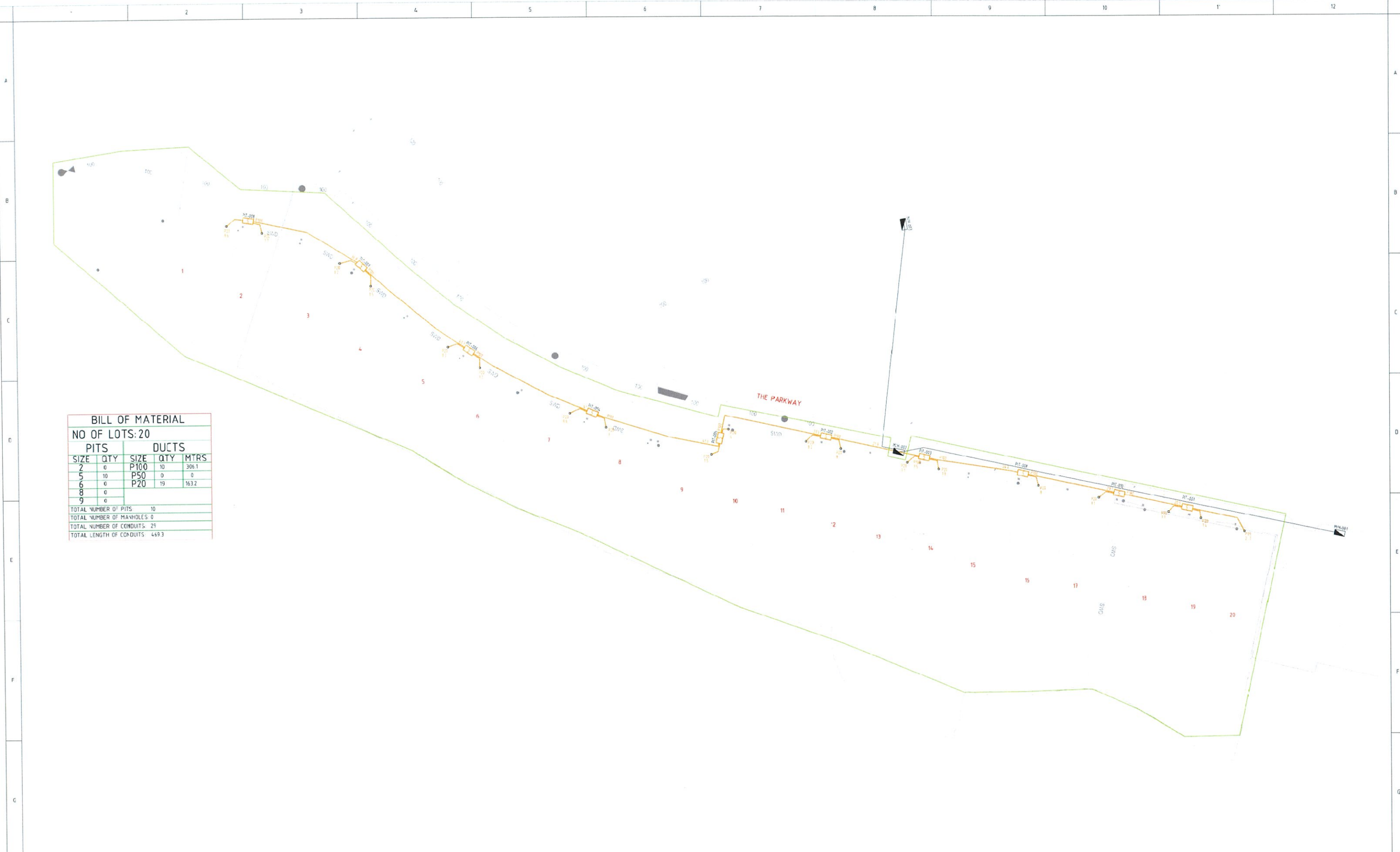
DESIGN CARRIED OUT IN ACCORDANCE WITH ENERGEX UNDERGROUND DISTRIBUTION MANUAL, ENERGEX OVERHEAD CONSTRUCTION MANUAL, OLD PUBLIC LIGHTING CONSTRUCTION MANUAL

AUSTRALIAN STANDARD AS1158.3.1 LOCAL AUTHORITY STANDARDS

RPED ENGINEER MAURICE DUFFILL
 RPED NUMBER 6821
 SIGNATURE: [Signature] 02.11.23

WORKSPLANS VERSION	DRAWING SIZE	NORTH
S2900476	A1	[North Arrow]

TENDER ISSUE
NOT FOR CONSTRUCTION



BILL OF MATERIAL
NO OF LOTS: 20

PITS		DUCTS		MTRS
SIZE	QTY	SIZE	QTY	
2	0	P100	10	306.1
5	10	P50	0	0
6	0	P20	19	163.2
8	0			
9	0			

TOTAL NUMBER OF PITS: 10
 TOTAL NUMBER OF MANHOLES: 0
 TOTAL NUMBER OF CONDUITS: 29
 TOTAL LENGTH OF CONDUITS: 469.3

23 10 23
TENDER ISSUE
 NOT FOR CONSTRUCTION

REV	DATE	BY	DESCRIPTION	APPROVED
2	23.10.23	JG	TENDER ISSUE	VO
1	17.10.23	JG	PRELIMINARY ISSUE	VO



SAFETY FIRST
 SAFETY STARTS WITH YOU



ATTENTION
 DO NOT CHANGE OR ALTER JOB SPECIFICATIONS UNLESS FIRST CHECKING WITH DESIGNER

STAFF WORKING ON THIS ESTIMATE PLEASE NOTE: THE LOCATION OF OTHER AUTHORITIES SERVICES WHICH MAY AFFECT THIS WORK HAVE NOT BEEN OBTAINED BY THE ESTIMATOR. CONSTRUCTOR TO OBTAIN SERVICE INFORMATION BEFORE COMMENCING WORK.

STRICTLY CONFIDENTIAL

APPROVAL RECORD	SIGNATURE	DATE
DD		
WD		
AB		

QUALITY RECORD

DISCLAIMER
 THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE USE OF OPTICOMM FOR USE IN MAINTAINING OPTICOMM FIBRE NETWORKS. IT SHALL NOT BE USED FOR ANY OTHER USE. IT SHOULD NOT BE SCALED TO LOCATE OPTICOMM ASSETS. NO WARRANTY IS GIVEN THAT THE INFORMATION IS ACCURATE OR COMPLETE.



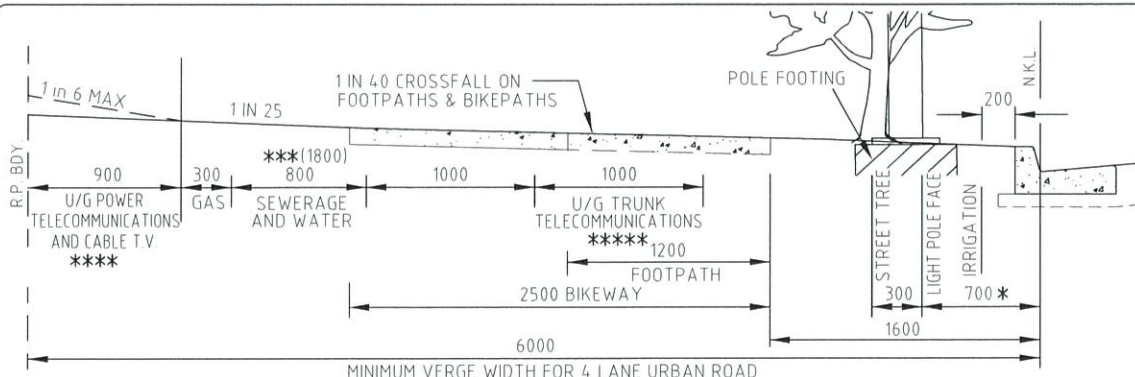
REL PLAN

STATE	QLD	REGION	MGAS6
TOWN		CAMP	
PROJECT NO			
DRAWING NO	2019-0-10		
SCALE	1:500	SHEET NO	2 OF 2

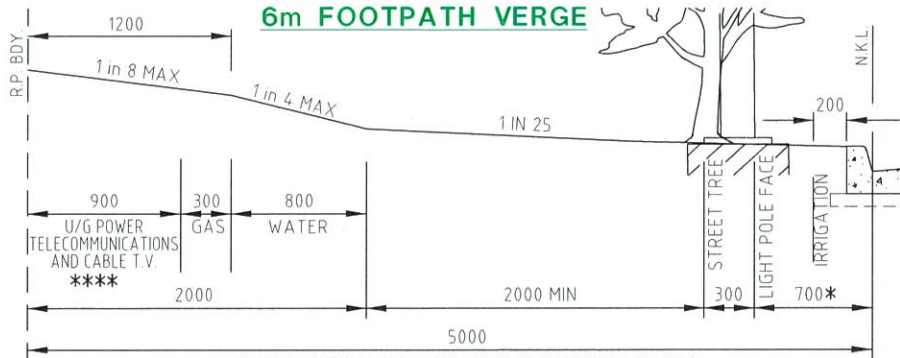
DRAWING TITLE
 The Parkway Villas
 The Parkway Sanctuary Cove QLD 4212

Pit and Pipe Design

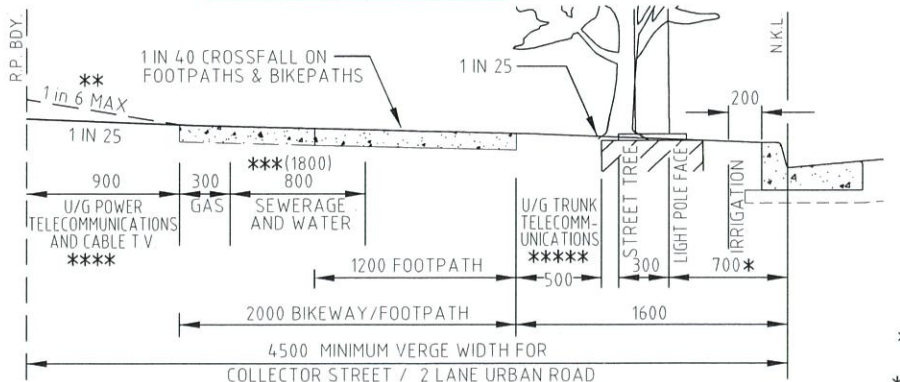
SCALE: 1:500 SHEET NO: 2 OF 2



6m FOOTPATH VERGE



PARK LIVING VERGE



4.5m FOOTPATH VERGE

FOR STORMWATER DRAINAGE ALIGNMENT, REFER TO SECTION 3.5 OF LAND DEVELOPMENT GUIDELINES

LEGEND:

- R.P. B.D.Y. — REAL PROPERTY BOUNDARY
- N.K.L. — NOMINAL KERB LINE
- MAX NOT STEEPER THAN
- MIN NOT LESS THAN
- U/G UNDER GROUND

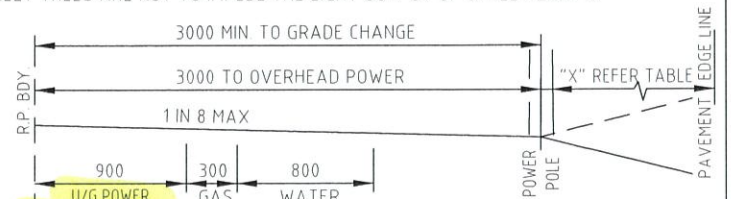
TABLE

ROAD TYPE	"X" MIN.
RURAL ACCESS STREET	4.5m
RURAL COLLECTOR STREET	4.5m
TWO LANE ROAD RURAL	6.0m
FOUR LANE ROAD RURAL	6.0m

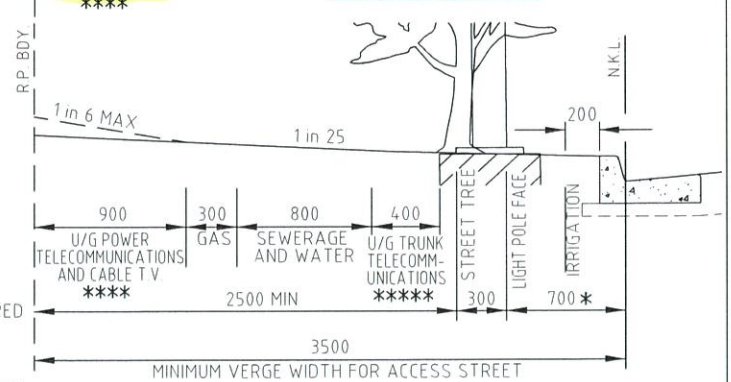
- * MIN TO FACE OF FRANGIBLE POLE REFER NOTE 9.
- ** 1 IN 10 FOR INDUSTRIAL & COMMERCIAL PRECINCTS
- *** WIDTH WHERE RECYCLED/POTABLE WATER SUPPLY DUAL SYSTEM REQUIRED
- **** FOR DOMESTIC CONNECTION TO INDIVIDUAL LOTS
- ***** FOR FEEDER CONNECTION - NOT DOMESTIC CONNECTION TO INDIVIDUAL LOTS

NOTES:

1. PUBLIC UTILITIES ALLOCATIONS ARE MEASURED FROM THE REAL PROPERTY BOUNDARY EXCEPT FOR POWER/LIGHT POLES AND U/G IRRIGATION
2. LIGHT POLE AND TREE ALLOCATIONS ARE MEASURED FROM THE NOMINAL KERB LINE (EXCEPT RURAL WHICH IS MEASURED FROM THE RP BOUNDARY).
3. THESE TYPICAL SECTIONS ARE COUNCIL'S MINIMUM REQUIREMENT ONLY AND MAY VARY, SUBJECT TO COUNCIL APPROVAL, WITH PEDESTRIAN/BIKEWAY/PARKING NETWORK PLANNING.
4. CROSSFALLS MAY BE STEEPENED AS DETAILED.
5. STREET TREES ARE TO COMPLY WITH GCCC LANDSCAPE STRATEGY PART 2 - LANDSCAPING DOCUMENTATION MANUAL.
6. DRIVEWAYS TO BE LOCATED CLEAR OF WATER AND SEWER MAIN FITTINGS AND MANHOLES. WHERE A DRIVEWAY INCREASES OR DECREASES THE COVER OVER A MAIN THEN THE STANDARD COVER WILL BE REINSTATED. REFER LAND DEVELOPMENT GUIDELINES 4.2.10(B), 5.2.8(D), OR 5.2.12(C)(ii). MINIMUM COVER TO OTHER SERVICES IS TO BE IN ACCORDANCE WITH THE SERVICE AUTHORITIES' REQUIREMENTS.
7. DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
8. KERB ADAPTORS TO BE PROVIDED, REFER SECTION 3.4 LAND DEVELOPMENT GUIDELINES
9. REFER TO AS/NZS 1158.1.3 FOR FURTHER DETAILS ON STATUTORY COMPLIANCE.
10. PUBLIC UTILITIES INCLUDE POWER, TELECOMMUNICATIONS, GAS, WATER AND SEWERAGE.
11. STREET TREES ARE NOT TO IMPEDE THE LIGHT OUTPUT OF STREET LIGHTS.



RURAL VERGE



3.5m FOOTPATH VERGE



THIS DRAWING IS NOT TO BE AMENDED WITHOUT REFERENCE TO STANDARDS COMMITTEE		CONTROLLED DOCUMENT	DO NOT SCALE TAKE FIGURED DIMENSIONS ONLY	
No.	AMENDMENT	APPROVED	DATE	ISSUED

DRAWN BY TECHNICAL SERVICES BRANCH
 PASSED 18/03/04
 APPROVED 19/03/04

STANDARD DRAWING
VERGE CONCRETE PATH AND ALLOCATION FOR PUBLIC UTILITIES

MICROFILMED
 STANDARD DRAWING No. 05-02-005
 ISSUE 2005 EDITION

DISTRIBUTION: CSC	ATTACHMENTS: 1	DATE: May 2024
<p>MOTION that the PTBC EGM approve the engagement of TEW to undertake the supply and installation of electrical infrastructure works as required by Energex. Costs are to be apportioned between the PBC 70% \$222,778.80 Inc GST and PTBC 30% \$95,476.63 Inc GST with funds to be expensed from Sinking Fund – 222601 Irrigation Control.</p> <p>Furthermore, it is noted that due to the contractor's responsibility for the engineering and submission of the electrical application to Energex, only one (1) quote was sourced. Therefore, approves the reduction in the mandated number of quotes to be obtained from three (3) to one (1).</p>		

Objective

To engage TEW to complete the electrical infrastructure works, as approved by Energex, in preparation for the electrical connection for the Class A Water Project. This includes the installation of a pad mount transformer on a raised platform, construction of a concrete pit, and the under bore installation across the road for conduits, ensuring compliance with Energex specifications and current flood level requirements.

Background

Initially, TEW was engaged by the principal contractor, Hydro Vision, to manage the electrical engineering component of the Class A Water Project. Since the Energex connection was not included in the tendered/contracted works, a variation to the contract was always necessary.

Recognising TEW's expertise and existing involvement in the electrical aspect of the project, a meeting was convened to determine the optimal approach for handling this additional aspect of the project. It was collectively agreed that it would be in the best interest of the overall project for Hydro Vision to manage this aspect of the project in conjunction with TEW, leading to the issuance of Variation 3 to facilitate its execution.

Unfortunately, delays resulting from external factors beyond the control of the PBC/PTBC led to the lapse of Energex application in November 2023. In response to these circumstances, it was considered prudent to directly engage TEW for the application and infrastructure works component, thereby streamlining the process for all involved parties.

Subsequently, the design and application have since been resubmitted. Energex provided design approval April 2024 and advised that the necessary works can now proceed in preparation for the Energex transformer installation and connection. It is anticipated that these works will be finalised and ready for connection August/September 2024.

Scope of works

Pad mount Transformer Installation: Due to current Q100 flood levels, the transformer is to be installed on a raised platform 1.5m from ground level. Installation of a raised PMT (Pad Mount Transformer) site inclusive of the following as per approved Energex design,

- Retaining walls,
- Fencing,
- Site Earthing,
- Site Reinstatement.
- Supply of materials
- Supply of labour and machinery
- Install sand backfill once pad mount transformer is energised by Energex.
- Install pad mount transformer concrete surround.

Concrete Pit: Energex has requested a concrete pit, which involves substantial additional costs.

Despite efforts to negotiate, Energex did not approve any alternatives.

- Installation of a Type 3 cable pit as per Energex Specifications.
- Supply of materials
- Supply of labour and machinery

Under Bore Installation: Energex requires an under bore across Caseys Road for the installation of conduits.

- Electrical under bore on Casey's Road.
- Installation as per Energex conduiting and compliance.
- Works to be undertaken at nighttime.
- Supply of Traffic control and appropriate permits.

Electrical and civil design in accordance with Energex standards and specifications

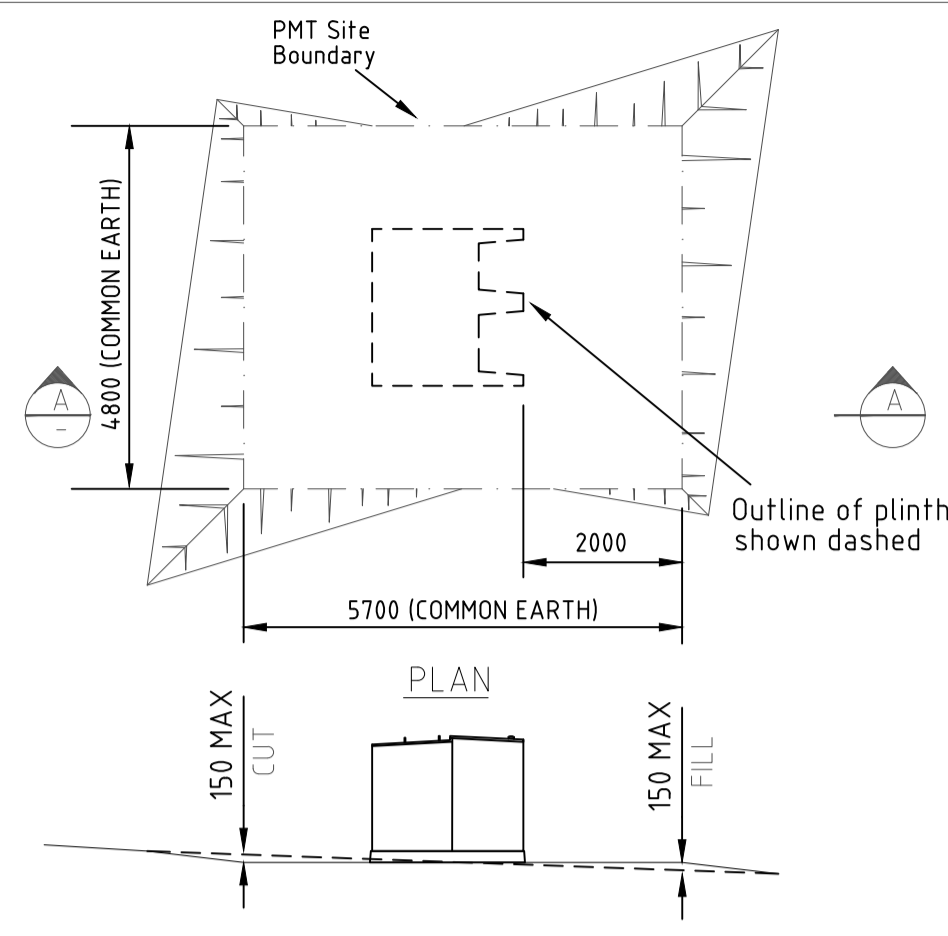
- IFC and as-constructed drawing submission
- RPEQ certification.
- Site surveying.
- Legal and title lodgement with the Land Title Office.

Pricing

DESCRIPTION	Total ex GST
Raised PMT site	\$115,385.00
Type 3 Cable Pit	\$91,885.00
Electrical Design	\$34,545.00
Electrical Under Bore	\$42,535.00
TEW Project Management and Site Supervision	\$28,800.00
Minus Cost for Previously Claimed Money	-\$23,826.88
Total fixed Price	\$289,323.12

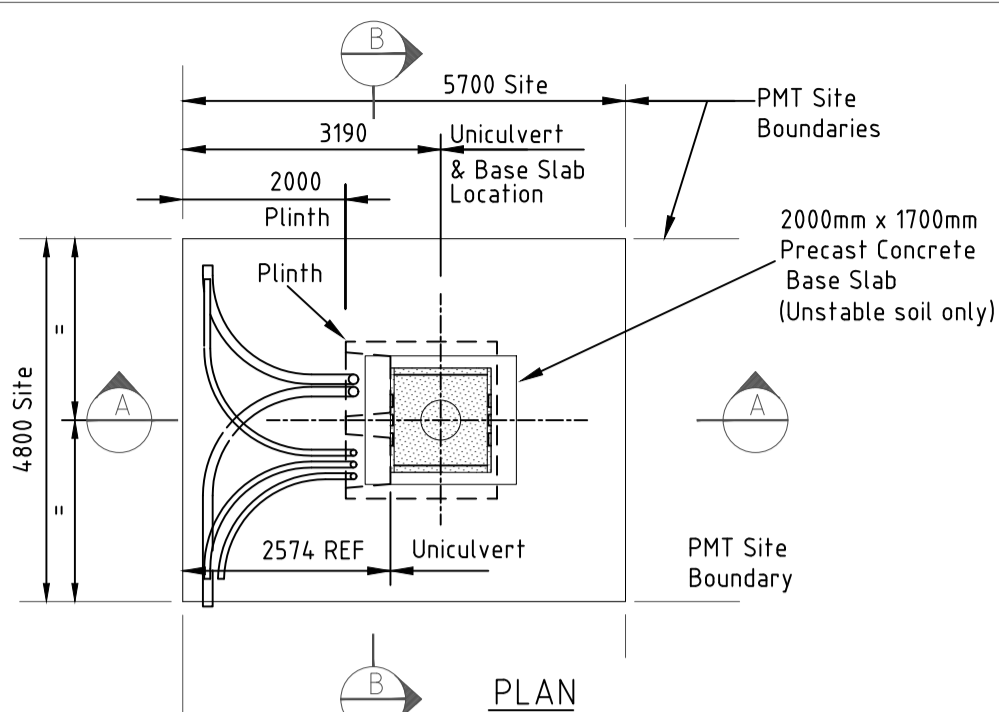
Attachments

1. Quote 55274-02_0
2. Energex Padmount transformer plan and details

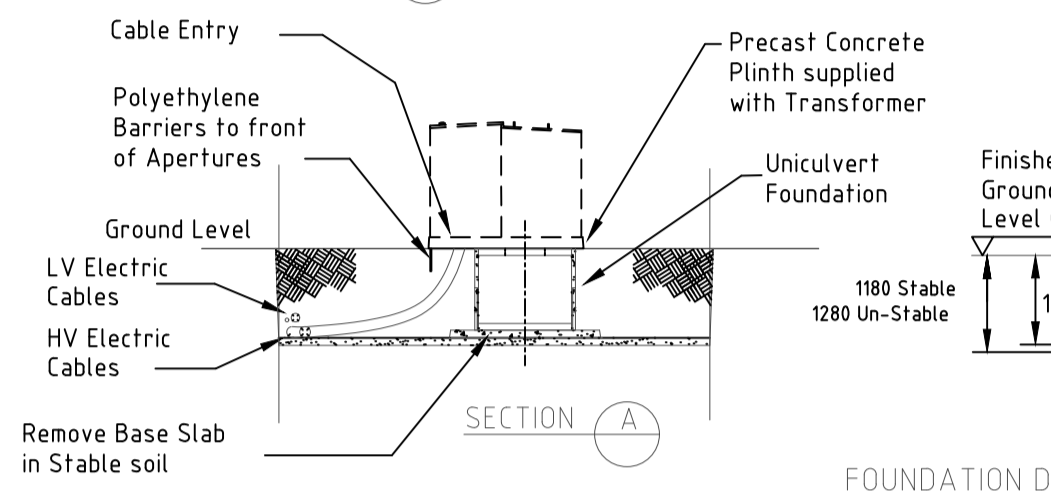


- NOTE:**
- ENERGEX's padmount clearance zone shall be levelled and surrounding area graded to ensure no water ponding.
 - No services other than the ENERGEX's electric cables shall pass through this substation site.
 - Clear access to the transformer shall be maintained for ENERGEX's personnel and heavy equipment.
 - After installation is complete the site surface is to be finished with a concrete slab.
 - Mature landscaping (including trees, sprinklers etc.) shall not encroach onto the substation site.

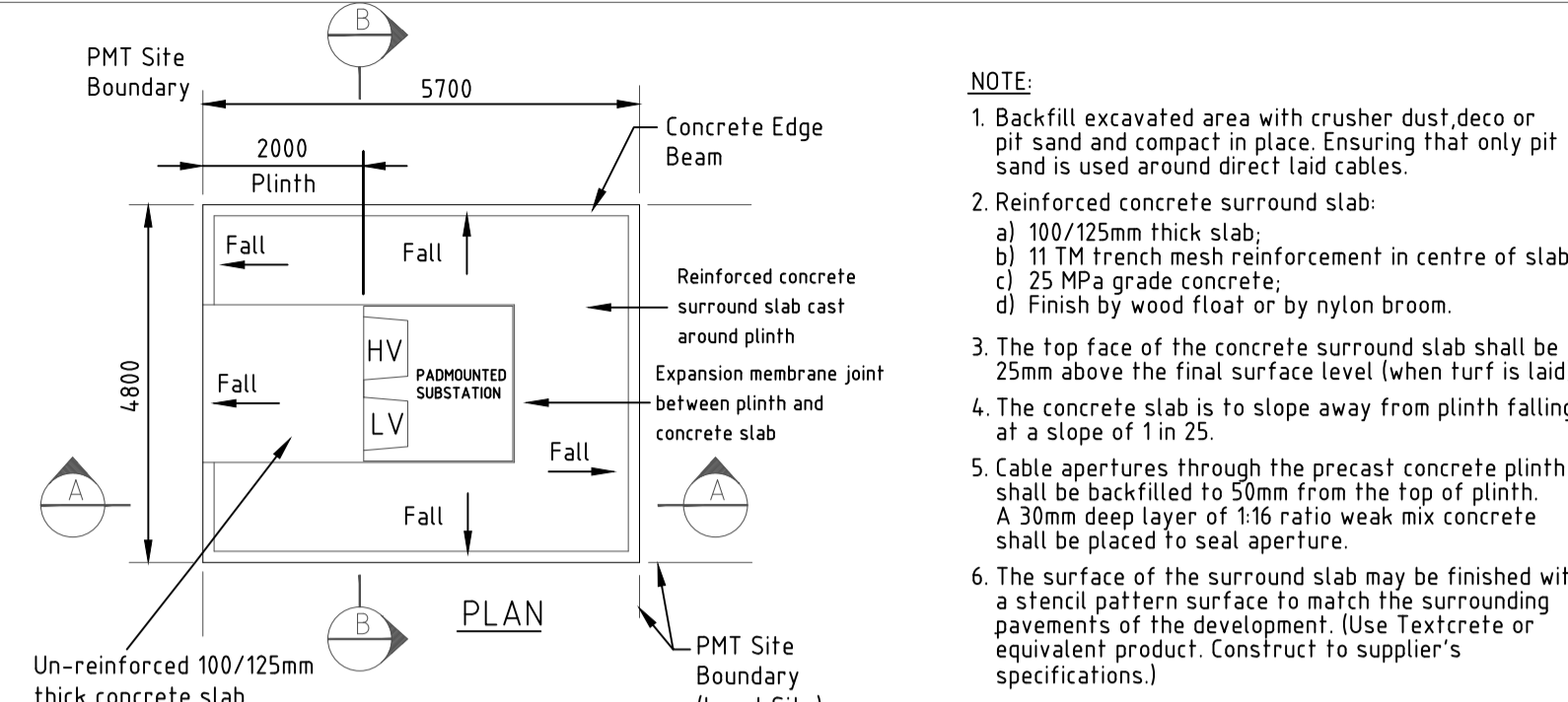
SITE PREPARATION DETAIL



- NOTES:**
- Foundation design details are as follows:
 - Unstable soils are soft clay to sandy gravel with a soil strength 50 - 150 kPa. These soil types REQUIRE a base slab as shown.
 - Stable soils are very stiff clay to shale/rock with soil strength of 150kPa or higher. These soil types DO NOT REQUIRE a base slab.
 - Lift unculvert and base slab separately with 4 x 13" Reid Swifliff lifting eyes.
 - Position top face of unculvert at finished ground level. (Refer Civil Construction Drawings)
 - Installed unculvert shall be level.
 - If deep excavation is required under transformer culvert and in front of foundation, plinth front edge shall be propped while excavation remains open.
- Foundation Components:**
- 1 x Uniculvert (Stock Code 19959)
 - 2 x End Walls (Stock Code 19959)
 - 1 x Base Slab (Stock Code 19958)
- Uniculvert and End Walls come assembled with a Layer of Preformed Sealant to the perimeter of the Uniculvert End and between the Mating Surfaces.
- Only remove minimum Knockout Area required to pass Conduits (Max. Conduit 150mm Nom. Dia) or Cables through unculvert void by tapping out Concrete.
 - Seal between conduits/cables and concrete end wall at knockout interface by grouting with high strength sand and cement grout after conduit installation to prevent entry of vermin and backfill ingress to unculvert void.
 - Excessive to properly boundaries to facilitate installation of earth grid.
 - Consumer's mains (where present) shall not cross HV mains or run back under transformer.

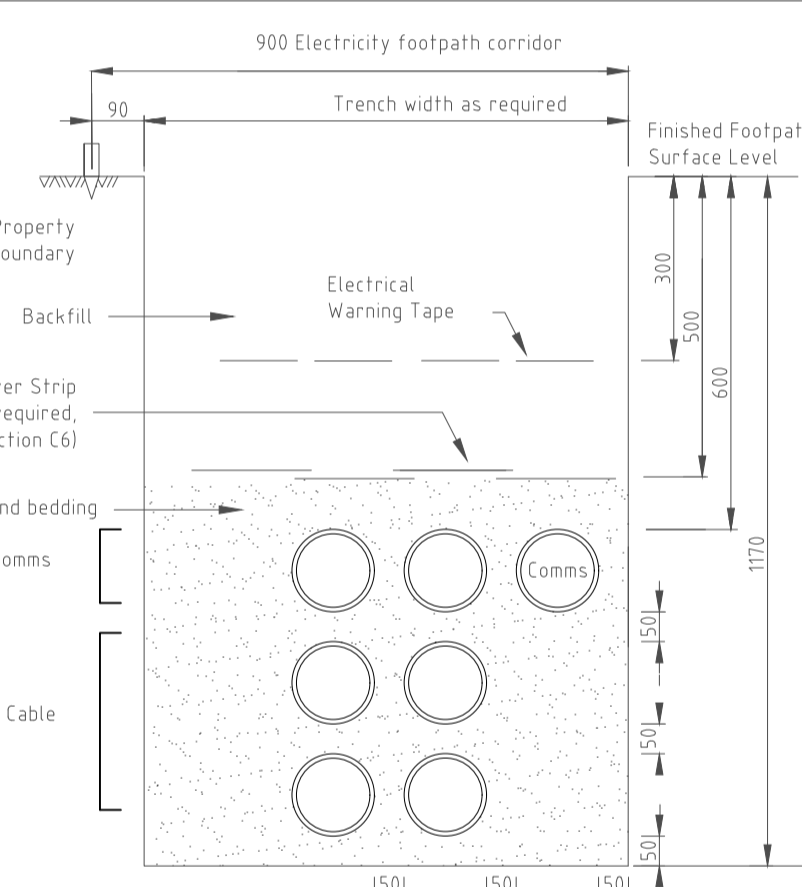


FOUNDATION DETAIL



- NOTE:**
- Backfill excavated area with crusher dust deco or pit sand and compact in place. Ensuring that only pit sand is used around direct laid cables.
 - Reinforced concrete surround slab:
 - 100/125mm thick slab;
 - 11 Mm French mesh reinforcement in centre of slab;
 - 25 MPa grade concrete;
 - Finish by wood float or by nylon broom.
 - The top face of the concrete surround slab shall be 25mm above the final surface level (when turf is laid).
 - The concrete slab is to slope away from plinth falling at a slope of 1 in 25.
 - Cable apertures through the precast concrete plinth shall be backfilled to 50mm from the top of plinth. A 30mm deep layer of 1:16 ratio weak mix concrete shall be placed to seal aperture.
 - The surface of the surround slab may be finished with a stencil pattern surface to match the surrounding pavements of the development. (Use Textcrete or equivalent product. Construct to supplier's specifications.)

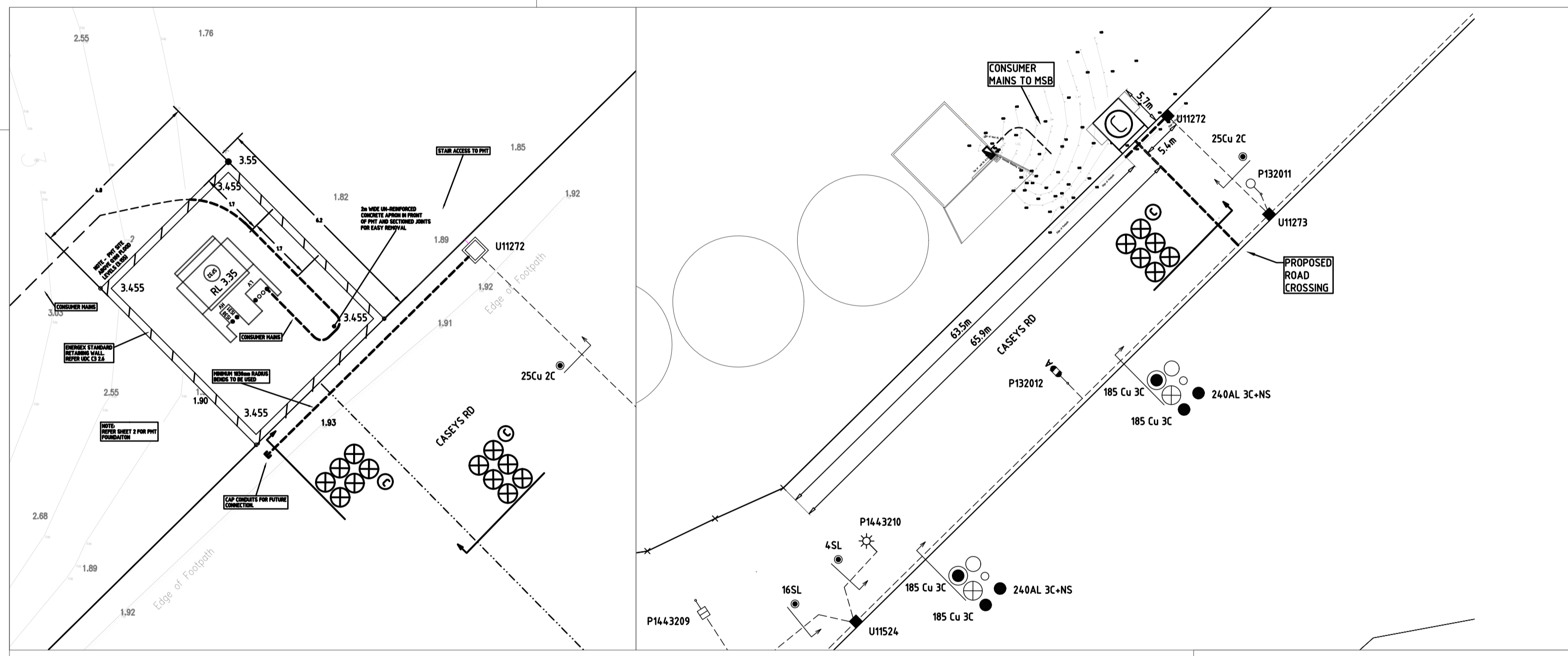
REINSTATEMENT DETAIL



TYPICAL CROSS SECTION - 11kV AND C&I (FOOTPATH ON PUBLIC ROADS)

- Notes:**
- ENERGEX Communication conduit to be 100mm while located top kerbside.
 - Power cable conduits to be 125mm orange, light duty.
 - Separation for conduits - 50mm minimum, up to 160mm desirable.
 - Increased cover required for road crossings.
 - Select Backfill and Pit sand bedding complying with ENERGEX UDCM Section C2
 - For de-rating factors for cables in duct bank, refer to the Plant Rating Manual

- NOTES:**
- CABLE CONDUIT SHALL BE OF THE FOLLOWING TYPE: LIGHT DUTY ELECTRICAL CONDUIT TO AS/NZS 2053. CONDUIT BENDS SHALL HAVE A MINIMUM RADIUS OF 1830mm.
 - CONDUITS SHALL BE 125mm ORANGE FOR ELECTRICAL AND 100mm WHITE (LOCATED TOP KERBSIDE) AS SPECIFIED BY ENERGEX AND SHALL BE SUPPLIED AND INSTALLED BY THE DEVELOPER OR ENERGEX. CONDUITS SHALL BE SECURELY SEALED TO PREVENT INGRESS OF DIRT UNTIL CABLE INSTALLATION AND THEN RESEALED.
 - EACH CONDUIT TO BE FITTED WITH A 6mm BRAID POLYPROPYLENE DRAW ROPE TO PULL IN HAULAGE ROPE. (MINIMUM BREAKING STRENGTH OF 10kN)
 - ENERGEX MAY NEED TO INSTALL AN EARTH WIRE AND EARTH RODS IN CONDUIT TRENCHES FROM THE SUBSTATION SITE.
 - ELECTRICITY SUPPLY CONDUITS AND CABLES SHALL HAVE POLYMERIC CABLE PROTECTION COVER STRIPS PLACED 100mm ABOVE THE TOP CONDUIT FACE OF THE ELECTRICITY SUPPLY CONDUITS AND CABLES. CABLE PROTECTION COVER STRIP SHALL BE LAPPED WHEN PLACED TOGETHER, 100mm MINIMUM ALONG THE LONGITUDINAL AXIS, 40mm MINIMUM ALONG THE TRANSVERSE AXIS AND SHALL EXTEND 40mm MINIMUM PAST THE EXTERNAL EDGES OF THE CONDUIT/CABLE BANK.
 - POLYMERIC CABLE PROTECTION COVER SHALL BE A MINIMUM OF 5mm THICK AS DESCRIBED IN THE AUSTRALIAN STANDARD; AS4702 PFR POLYMERIC CABLE PROTECTION COVERS.
 - REDUCED CONDUIT SEPARATION MAY BE ACCEPTED TO AVOID SPECIFIC OBSTACLES
 - MIN. DEPTHS SHOWN ARE THOSE DEPTHS REQUIRED BY CODE OF PRACTICE, WORKS (MINOR ROADS) AND DMR (ARTERIAL ROADS).



SITE DETAIL PLAN

SITE PLAN

Note
ENERGEX will not commission the transformer until the transformer site has been completed to ENERGEX specifications (including the concrete surround).

ENERGEX specifications for construction of the transformer site and installation of conduits on private property are available at the following web address:
https://apps.energex.com.au/service_providers/technical_docs/asp/technical_documents.asp

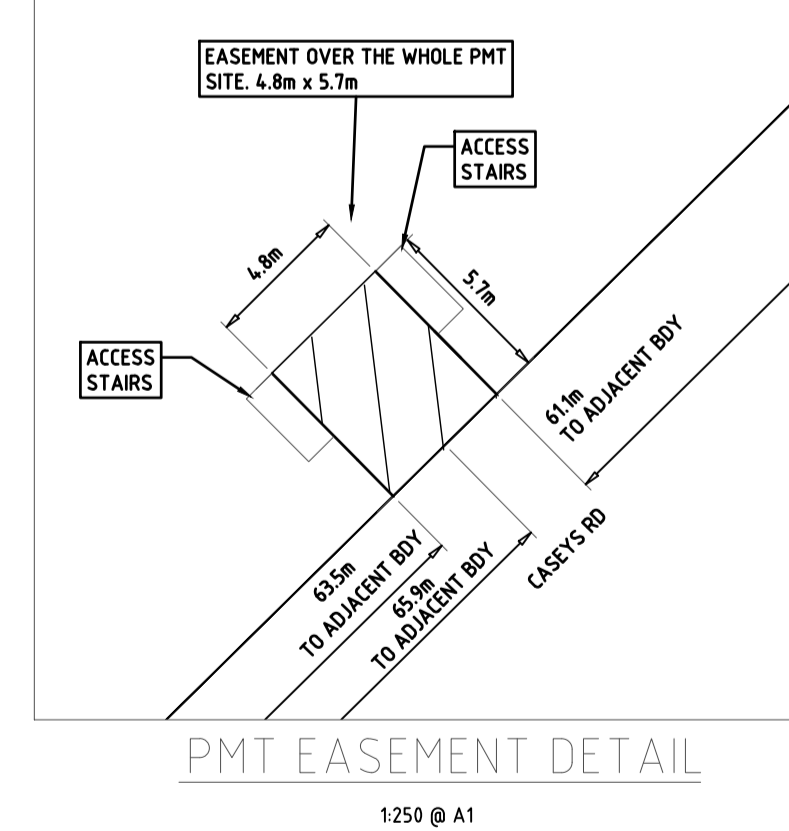
Underground Distribution Construction Manual
Section C1 - Conduits
Section C2 - Excavations & Reinstatements
Section C3 - Padmount Transformer Sites

The site contractor is to refer all substation construction queries to their electrical consultant.

REQUIRED TASKS	DATE COMPLETED		CHECKED BY
	YES	NO	
CUSTOMER RESPONSIBILITIES			
24 HOUR ACCESS PROVIDED			
PADMOUNTED SUBSTATION SITE IS LEVEL			
PADMOUNTED SUBSTATION SITE SIZE - 5.7M x 4.8M			
RETAINING WALLS (UNCL. RPEQ APPROVAL IF REQUIRED)			
PADMOUNTED SUBSTATION SITE IS CLEAR OF ALL SERVICES			
CORRECT FOUNDATION INSTALLED			
CONDUITS ARE INSTALLED (INCLUDING BUNGS & DRAW WIRES)			
CONDUITS TRENCHES BACKFILLED & COMPACTED			
FENCES INSTALLED			
HAVE 2000mm DEDICATED CLEAR ZONE IN FRONT OF PLINTH			
CUSTOMER RESPONSIBILITIES PRIOR TO COMMISSIONING			
SITE BACKFILLED & COMPACTED (INCLUDING UNDER PLINTH)			
BOUNDARY SURROUND & SITE SURFACE CONCRETED			
AREA SUITABLY DRAINED (NO PONDING)			
SITE CLEANED-UP NEATLY			

NOTE: X if applicable

- Notes:**
- Substation site complies with clearances from Hazardous Area. No hazardous substances on site.
 - Substation site not located within 10m from a Hydrant as per AS24-19.1
 - External works to be completed by builder/developer. (Footpath conduits, bollards etc.)
 - PMT site to be inspected and handed to Energex at least 6 weeks prior to supply date.
 - Proposed substation floor 75mm above interim Residential Flood level (IRFL)
 - Minimum 2m clearance required between PMT earth grid and any Telstra plant.
 - Padmount site shall not be located within 3m from a Gas Station as per AS/NZS 5601.1
 - Civil RPEQ certification (form 16) required to certify all civil construction works by customer



PMT EASEMENT DETAIL

DESCRIPTION	DATE
PRELIMINARY ISSUE FOR RPEQ APPROVAL ONLY	05/05/24

56 CASEYS RD
HOPE ISLAND, 4212

23-0362-01

FOR FURTHER INFORMATION PLEASE CONTACT : LUKE ARACE PETER EUSTACE & ASSOCIATES (07-55961425)

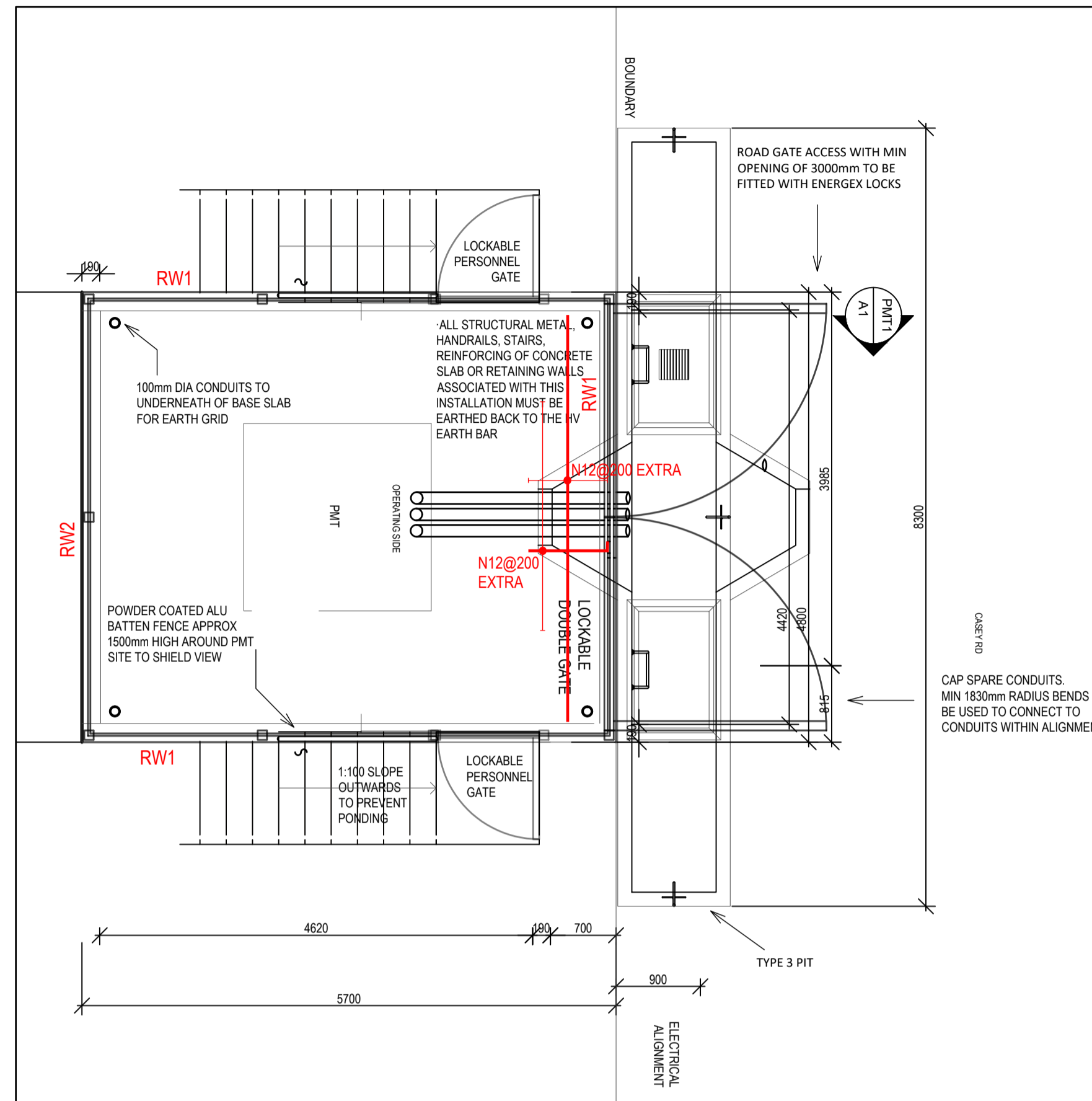
CULVERT INSPECTION REQUIRED BEFORE TRANSFORMER IS DELIVERED - 5 BUSINESS DAYS PRIOR NOTICE NEEDED.
CONDUITS INSPECTION REQUIRED PRIOR TO BACKFILLING
CONTACT MATHEW RITCHIE PH. 0409766249 EMAIL: matthewritchie@energex.com.au
TRANSFORMER WILL NOT BE ENERGISED UNTIL ALL REQUIREMENTS ARE MET.

ENERGEX
PADMOUNT CONSTRUCTION
GENERAL LAYOUT DRAWINGS
LANDLOCKED
COMMON EARTHING

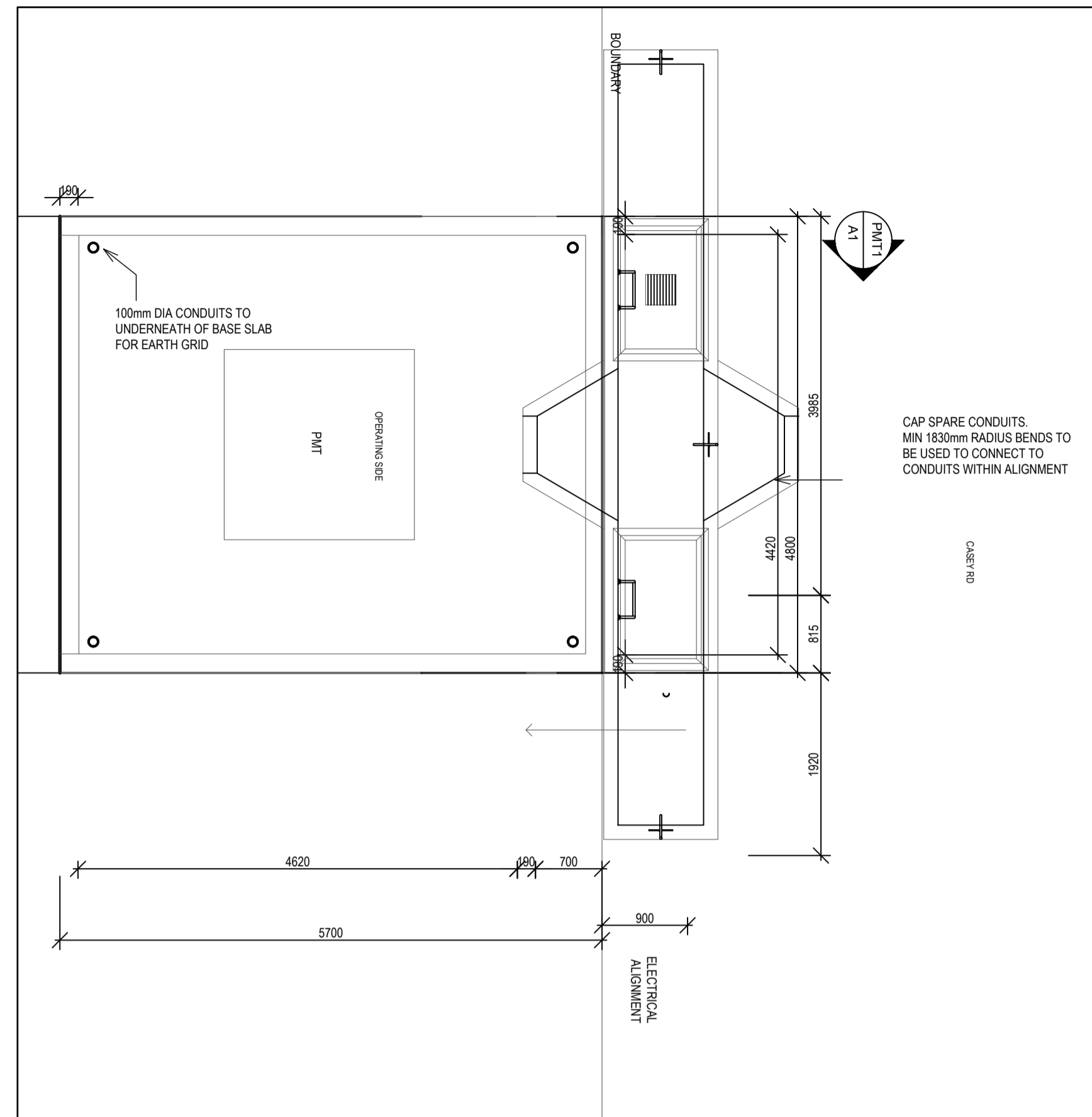
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APPROVED: DESIGN DATE: FILE:

WR7986618

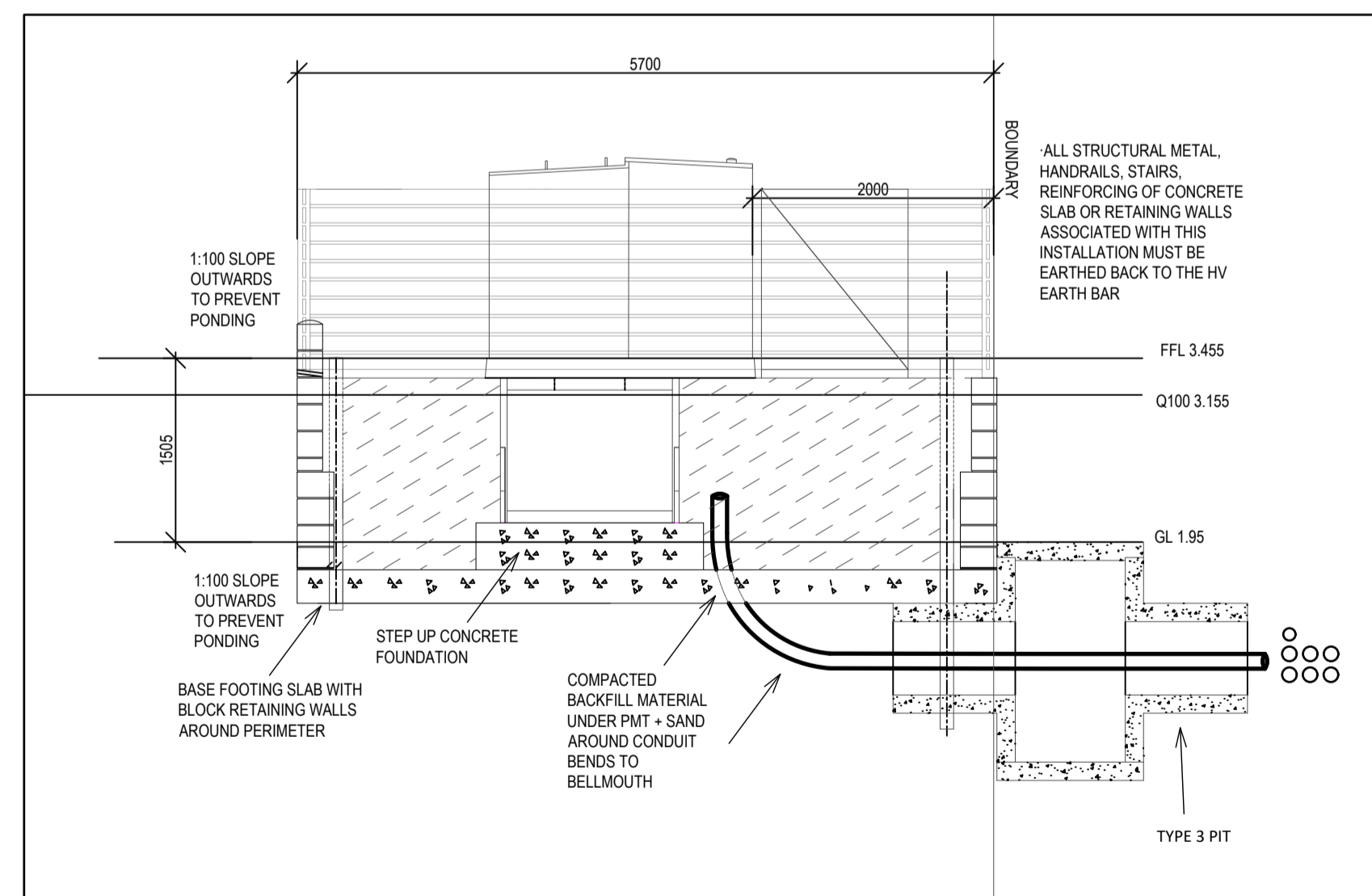
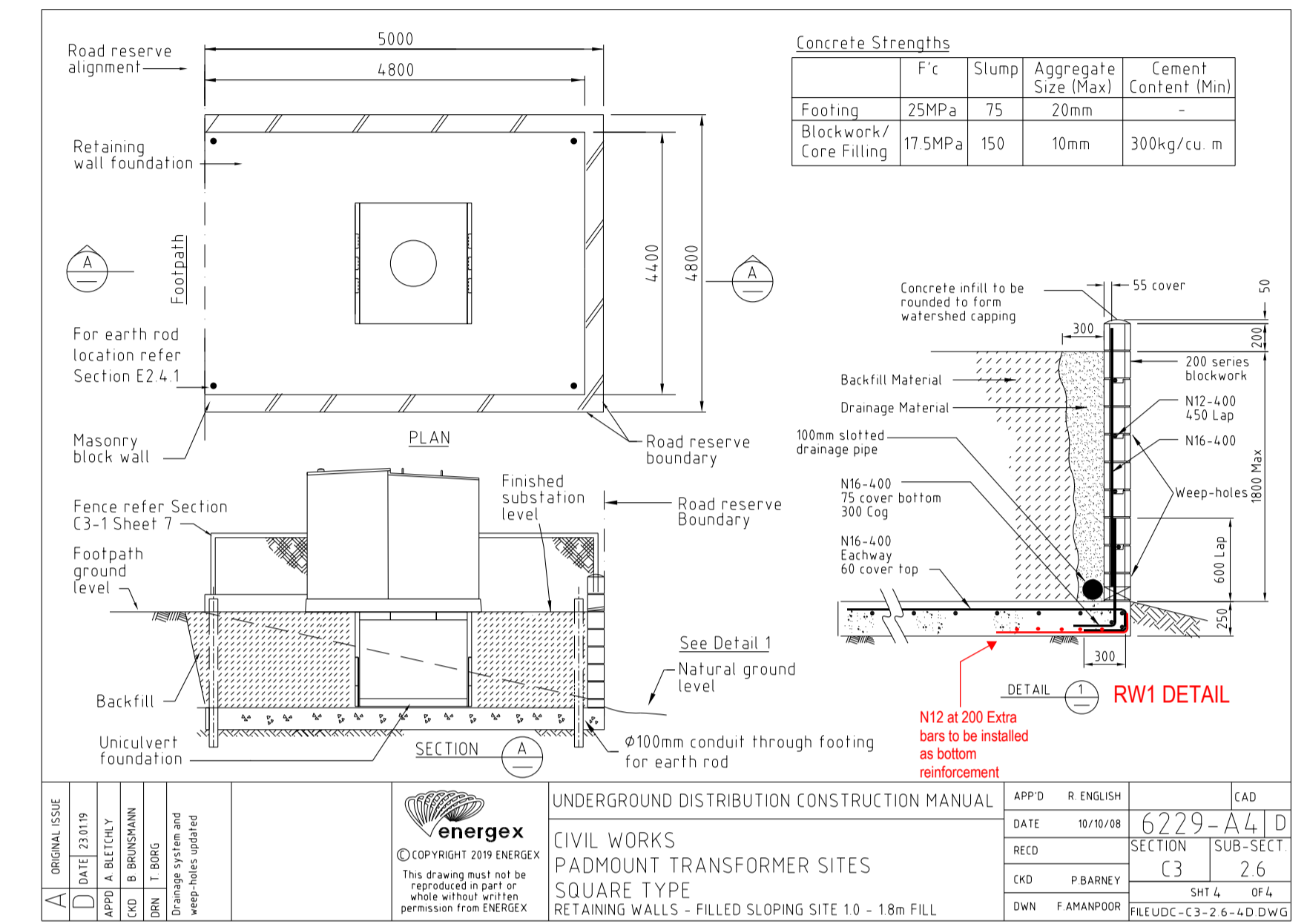
SHEET 1 of 4



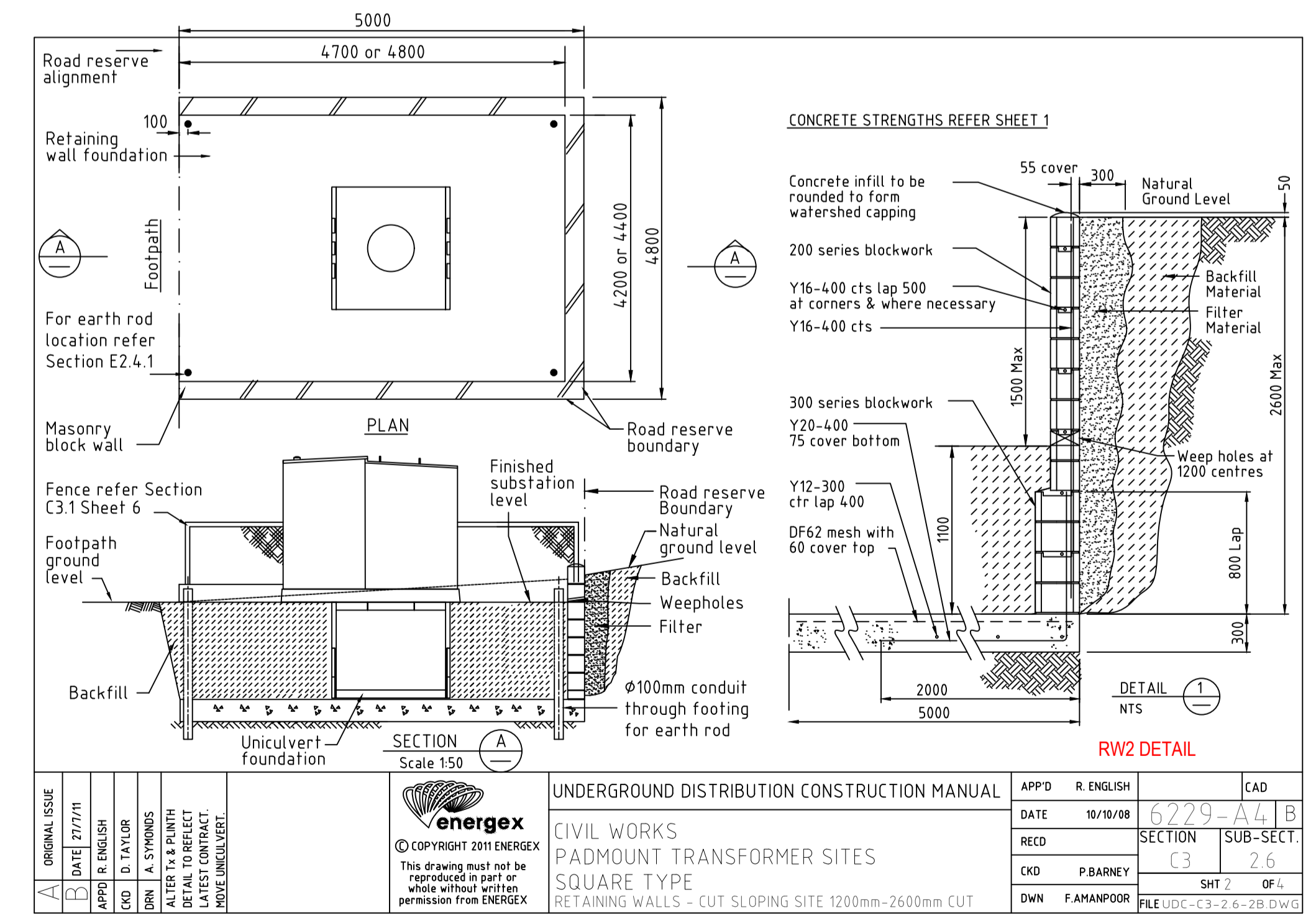
PMT SITE - TOP-DOWN VIEW - FFL
1:50@A1



PMT SITE - TOP-DOWN VIEW - GL
1:50@A1



PMT SITE - SECTION A1
1:50@A1



OSKA CONSULTING GROUP
Project: 56 CASEYS ROAD, HOPE ISLAND, 4212
Title: ENERGEX PADMOUNT TRANSFORMER PLAN & DETAILS
Drawn By: AP Date: 04.04.2024 Scale: NTS
Drawing No: ST-SK02 Rev: B

OSKA CONSULTING GROUP
OSKA Structural Consultants Pty Ltd
The OSKA Consulting Group - 90/Box 429 Brisbane Town Centre
A/B Level 201 Level 201 Suite 8 Corporate House 170 Victoria Parade Varsity Lakes QLD 4207
OSKA PROJECT No: 230296_2
Mark D'Arcy RPEQ No: 9369 04.04.24

DATE	DESCRIPTION
05.02.24	FOR INFORMATION ONLY

56 CASEYS RD
HOPE ISLAND, 4212

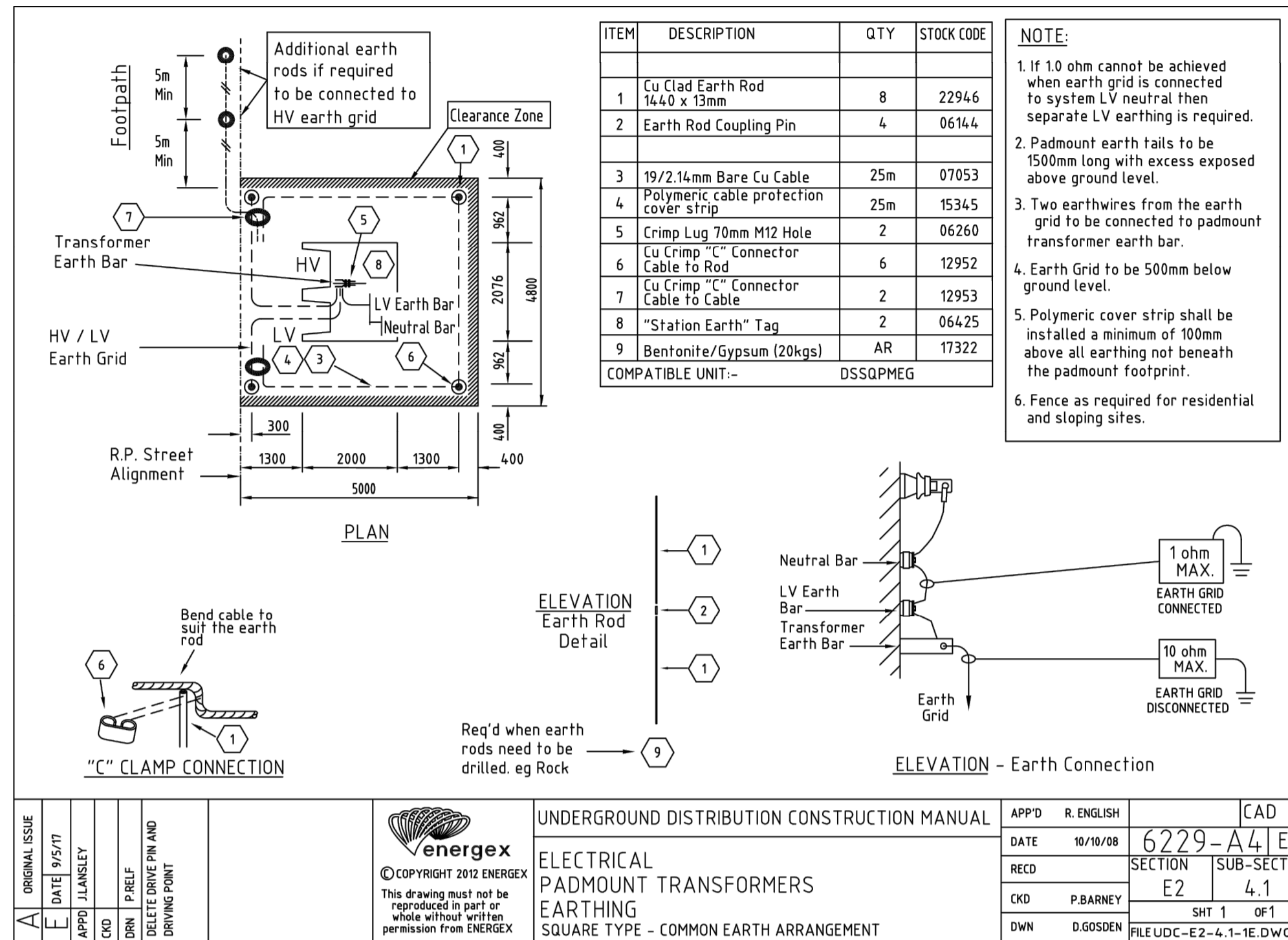
PE CONSULTING ENGINEERS
STREET ADDRESS: 11/14, 39 Lawrence Dr, Naurangi QLD 4211
POSTAL ADDRESS: PO Box 2833, Naurangi QLD 4211
TELEPHONE: (07) 5596 1425
EMAIL: mail@pece.com.au
WEB: pece.com.au

23-0362-01

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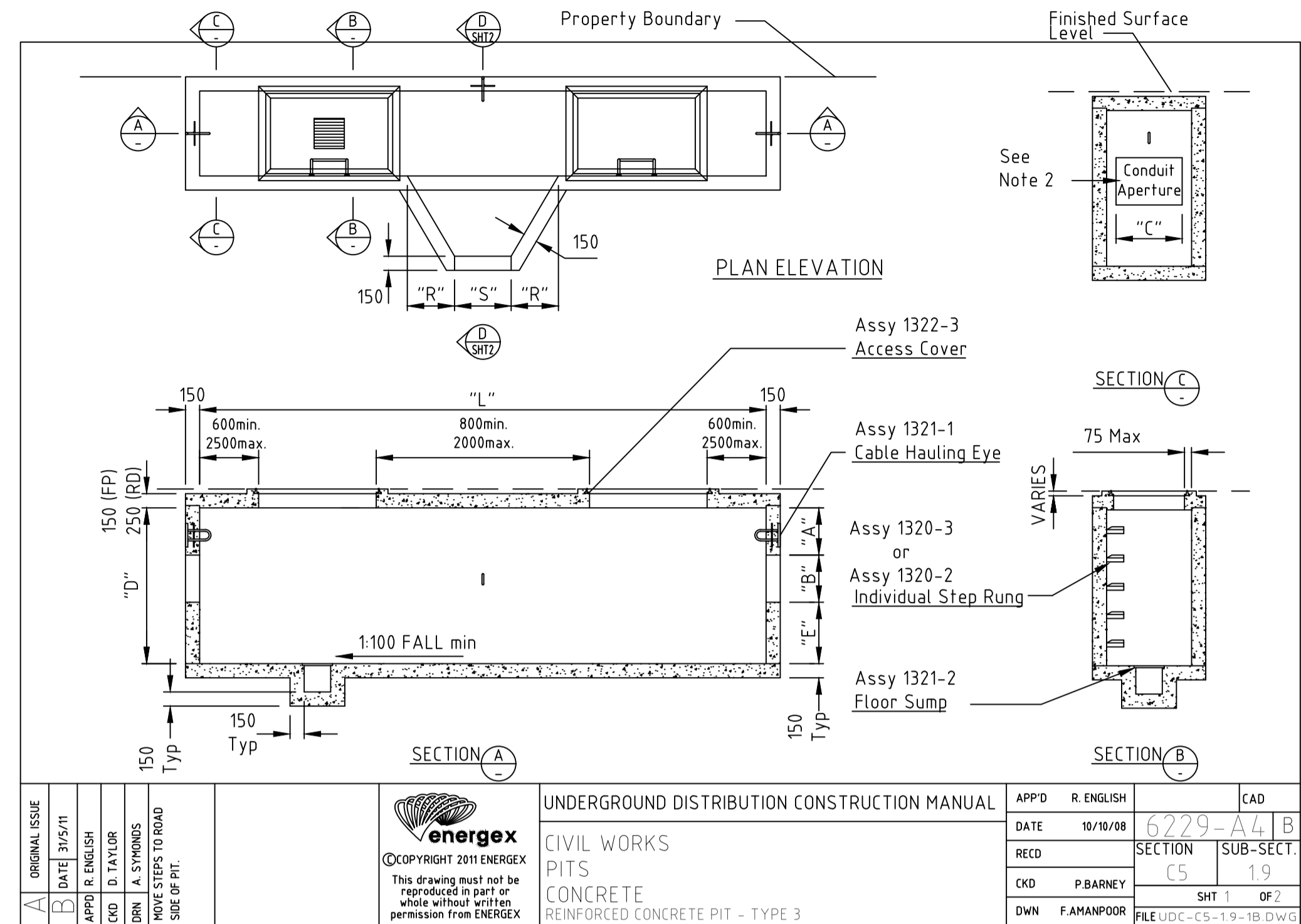
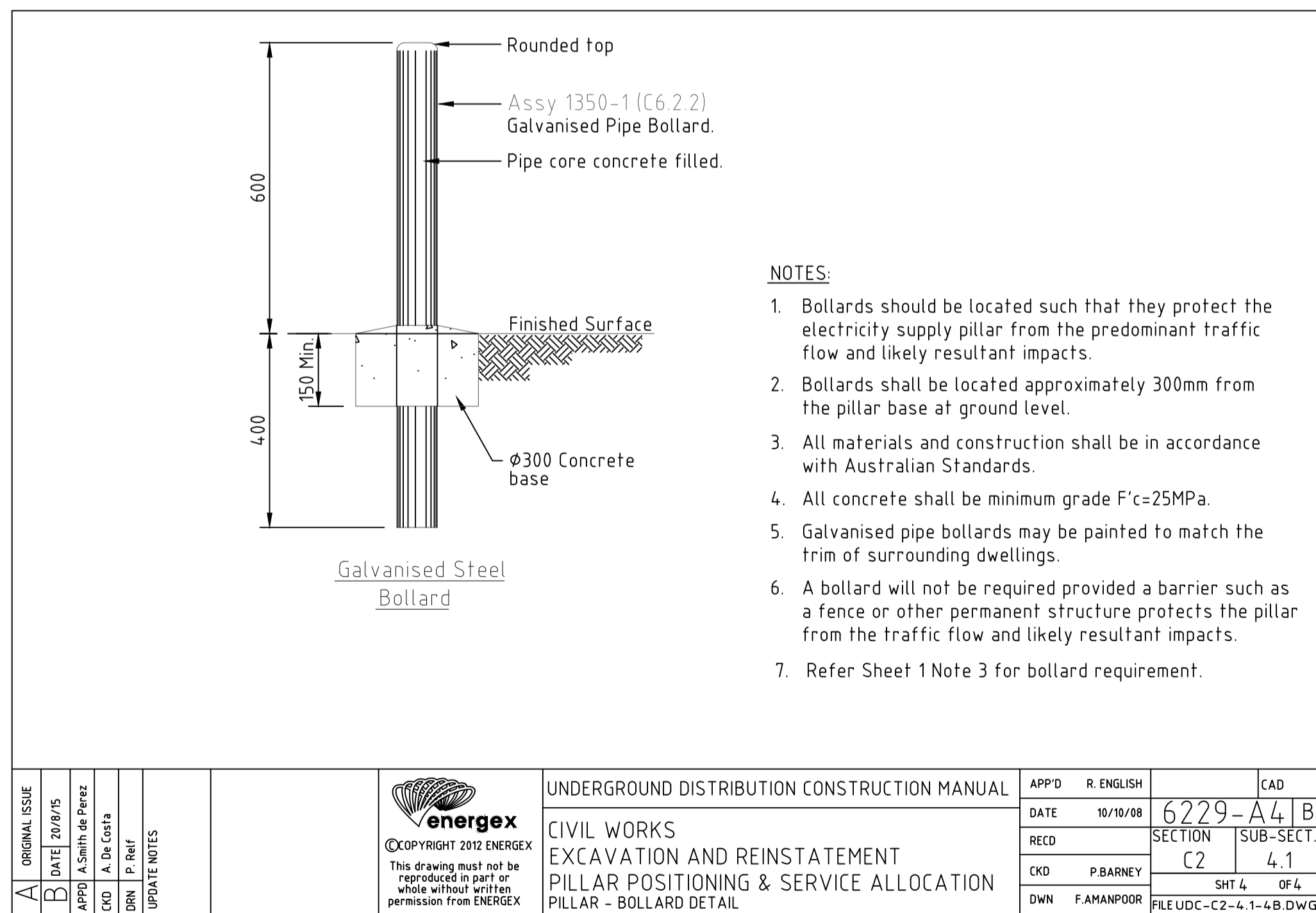
ENERGEX
PADMOUNT CONSTRUCTION
GENERAL LAYOUT DRAWINGS
LANDLOCKED
COMMON EARTHING

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SHEET 2 of 4		



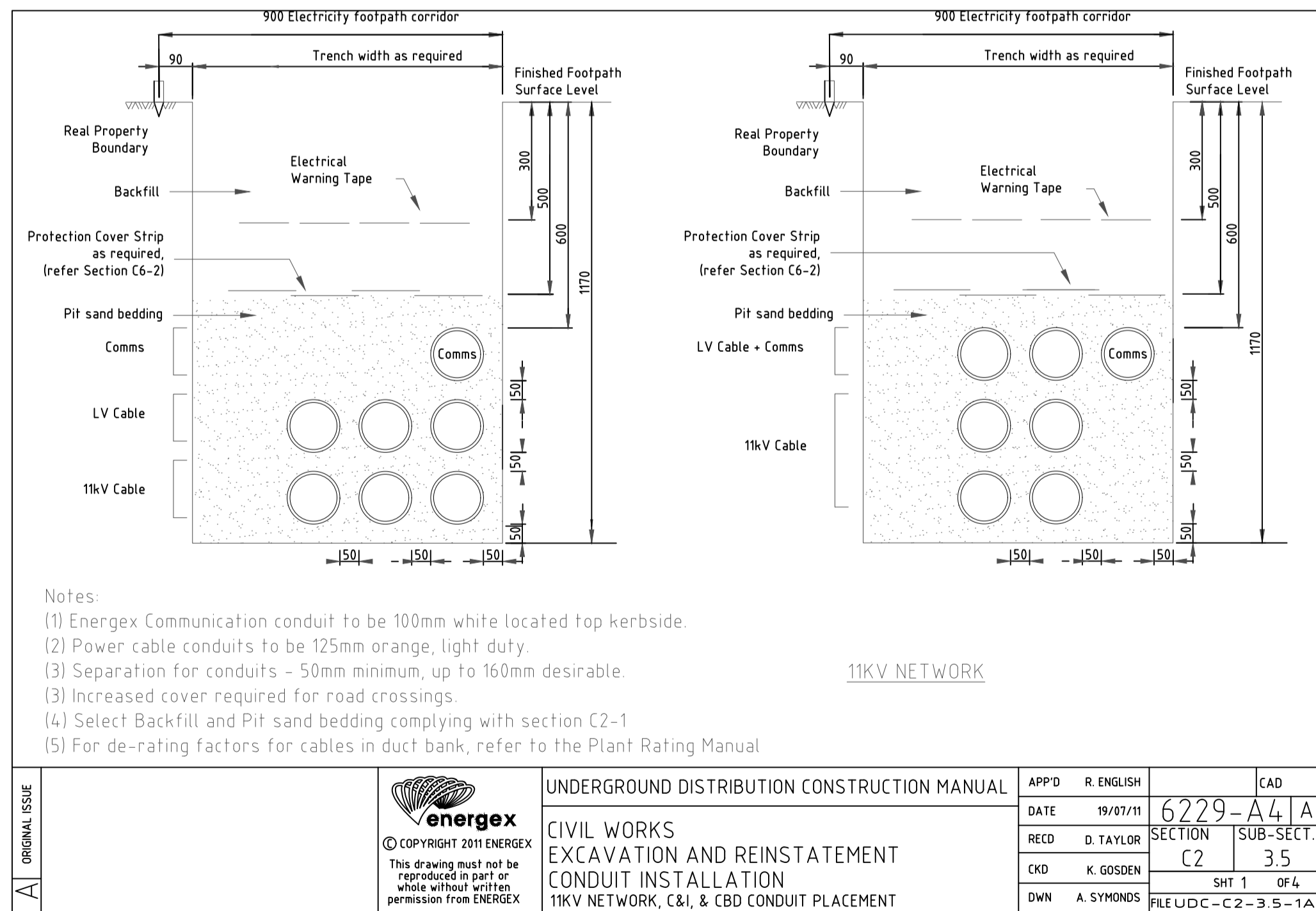
DISCLAIMER: THESE DRAWINGS MAY NOT SUIT EVERY APPLICATION, AND MAY NEED TO BE INCORPORATED WITH THE CUSTOMERS BUILDING DESIGN AND SUBMITTED WITH THE APPLICATION. A FINAL ENERGEX APPROVAL IS REQUIRED FOR EVERY APPLICATION REQUIRING INSTALLATION OF AN ENERGEX ASSET ON PRIVATE PROPERTY.

- NOTES:
 1) ALWAYS CONFIRM CORRECT DRAWING UPDATES WITH ENERGEX ON-LINE TECHNICAL DOCUMENT MANUALS
 2) REFER TO ENERGEX FOR ANY VARIATIONS TO THESE DRAWINGS.



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OSKA CONSULTING GROUP
 CONSULTING GROUP
 56 CASEYS ROAD, HOPE ISLAND, 4212
 Project: 6229-A4 B
 Title: ENERGEX PADMOUNT TRANSFORMER PLAN & DETAILS
 Drawn By: AP Date: 04.04.2024 Scale: NTS
 Drawing No: ST-SK03 Rev: B
 Mark D'Arcy RPEQ No: 9388 04.04.24
 OSKA PROJECT No: 23096_3

DESCRIPTION FOR INFORMATION ONLY	DATE	56 CASEYS RD HOPE ISLAND, 4212	 STREET ADDRESS: 56 CASEYS RD, HOPE ISLAND QLD 4211 POSTAL ADDRESS: PO Box 2833, Nering DC QLD 4211 TELEPHONE: (07) 5596 1425 EMAIL: info@pece.com.au WEB: pece.com.au	FOR FURTHER INFORMATION PLEASE CONTACT : LUKE ARACE PETER EUSTACE & ASSOCIATES (07-55961425)	ENERGEX PADMOUNT CONSTRUCTION GENERAL LAYOUT DRAWINGS LANDLOCKED COMMON EARTHING	SCALE: DO NOT SCALE (PLOT SCALE-1:1000)
						APPROVED: DATE: DESIGN: FILE:
						WR7986618
						SHEET 3 OF 4



22.05.2024

Ref: Q55274-02_0

Shayn Fox
Sanctuary Cove
Shop 1A, Building 1, Masthead Way
Sanctuary Cove Q 4212

Email: shayn.fox@scove.com.au

Dear Shayn,

Project Name: CLASS WATER PROJECT CONTRACT 1 WORKS D&C SPECIFICATION

Scope of Work: Energex Design and Construction

1. Raised PMT Site
 - a. Installation of a raised PMT (Pad Mount Transformer) site inclusive of the following as per approved Energex design,
 - i. Retaining walls,
 - ii. Fencing,
 - iii. Site Earthing,
 - iv. Site Reinstatement.
 - b. Supply of materials
 - c. Supply of labour and machinery
 - d. Install sand backfill once pad mount transformer is energised by Energex.
 - e. Install pad mount transformer concrete surround.
2. Type 3 Cable Pit
 - a. Installation of a Type 3 cable pit as per Energex Specifications.
 - b. Supply of materials
 - c. Supply of labour and machinery
3. Electrical Design
 - a. Electrical and civil design in accordance with Energex standards and specifications
 - b. IFC and as-constructed drawing submission
 - c. RPEQ certification.
 - d. Site surveying.
 - e. Legal and title lodgement with the Land Title Office.
4. Electrical Under Bore
 - a. Electrical under bore on Casey's Road. Installation as per Energex conduiting and compliance.
 - b. Works to be undertaken at nighttime.
 - c. Supply of Traffic control and appropriate permits.
5. TEW Site Supervision and Project Management
 - a. TEW site supervision of Energex approved subcontractor.
 - b. Subcontractor management
 - c. Subcontractor procurement and contract execution.
6. Minus Cost for Previously Claimed Money.
 - a. Minus cost for money TEW has claimed on this variation with Hydrovision.

Caveats

1. It is assumed excess trenching materials will be dumped on Sanctuary Cove land.



2. It is assumed trenching material is suitable as backfill material.
3. Excavations in waterlogged or saturated ground is excluded, dewatering of any excavations due to ground water will be an additional cost.
4. Testing, treatment, or disposal of any contaminated soils, ground water or asbestos is excluded.
5. Excavation or Boring of rock or rock like substances. Rock shall be defined as per ENERGEX SWP2, 8.7.5 Excavation in Rock. If rock is encountered, we will request direction from the client how to proceed and present costs for proceeding prior to any excavation works.
6. Additional earthing requirements if specified Earth is unachievable and if an Earthing Drill Contractor is required, this will be charged at cost +.
7. Government and/or Local Authority or Consultant Inspections or Certification is excluded.

Quotation Value (Excluding GST)

Item No.	Description	Total \$
1	Raised PMT Site	\$ 115,385.00
2	Type 3 Cable Pit	\$ 91,885.00
3	Electrical Design	\$ 34,545.00
4	Electrical Under bore	\$ 42,535.00
5	TEW Project Management and Site Supervision	\$ 28,800.00
6	Minus Cost for Previously Claim Money	-\$ 23,826.88
	Total Fixed Price	\$ 289,323.12

Should you have any questions regarding any of the information provided within the quotation please do not hesitate to contact me directly on 0435 123 278.

Yours Sincerely,
Chris Siliato

All Pricing Provided by TEW is Ex GST; Please pay the total amount on or before the due date for payment. If you are unable to pay the total amount, please respond with a payment schedule within 15 business days after the date you received this invoice/payment claim as required under the Building Industry Fairness (Security of Payment) Act 2017.



3 June 2024

SANCTUARY COVE GOLF AND COUNTRY CLUB PTY LTD
THE PARKWAY SANCTUARY COVE QLD 4212

Dear AARON

Thank you for the opportunity to provide you with an indicative Equipment Loan quotation for over a 48 month term.

Details of the quote, Reference Number 241550077 A Given on 3/06/2024 are as follows:

Settlement Month

Quote number 241550077 A is based on the equipment finance settlement occurring in **June 2024**.

Your Interest Rate

The Interest Rate for 241550077 A is **7.0701%**.

Financing Details

Equipment Cost or Balloon Refinance Amount: \$77,566.50

Less Deposit Paid and / or Supplier Trade In allowed: \$0.00

Plus On Road Costs (Transfer + Compulsory Third Party + Registration): \$0.00

Luxury Car Tax: \$0.00

Loan Amount: **\$77,566.50**

Plus Interest Charges: \$11,711.10

Total Amount Repayable: **\$89,277.60**

A Balloon Payment of \$0.00 (0.0000% of the Loan Amount) is due at the end of the 48 month Term.

In Arrears Payments

Repayments						
Segment No	Start Date	Number of Repayments	Frequency (Months)	Repayment Amount	GST	Total Repayment
1	10/07/2024	48	1	\$1,859.95	\$0.00	\$1,859.95
Total				\$89,277.60	\$0.00	\$89,277.60

Establishment Fees Payable at Settlement

Establishment Fees			
Fee Type	Fee Amount	GST	Total Fee
Settlement Fee	\$575.00	\$0.00	\$575.00
PPS Reg & Maint Fee	\$50.00	\$0.00	\$50.00
Total	\$625.00	\$0.00	\$625.00

This indicative quotation does not confer an offer by the bank nor a commitment on its part to the transaction. The quotation is valid for your acceptance until, 10/06/2024 and Settlement until 24/06/2024. After these dates, details may change without notice.

Subject to credit approval, provision of Tax Invoice and standard terms & conditions being met, we can settle this quotation within 24 hours of acceptance. Let us help you get your equipment delivered faster.

Yours faithfully

per Andrew Stephen
Private Client Director



Prepared For:

Cam Smith
Sanctuary Cove Golf and Country Club
The Parkway
Sanctuary Cove, QUEENSLAND 4212
Australia

Sold & Serviced by:

Ventrac Sales
Chris Stig
27 Kurrara Street Lansvale 2166
Phone: 0419 258 566



4520 TRACTOR

4520 TRACTOR

Model Comparison

	4520K VANGUARD Big Block	4520P KAWASAKI DFI	4520Y KUBOTA Diesel	4520N KUBOTA	4520Z KUBOTA
Stock Codes	39.51219	39.51216	39.51217	39.51225	39.51215
California Model Stock Code		39.51221		39.51227	
Accessory Kit: Front fenders, foot pegs, 4 rear weights, weight transfer	Optional	Standard	Standard	Standard	Standard

Engines

Engine	Vanguard M54	Kawasaki FD851D DFI	Kubota D902	Kubota WG972 EFI	Kubota WG972-GL
Max Operating Speed	3600 rpm	3600 rpm	3600 rpm	3600 rpm	3600 rpm
Horsepower	31	31	25	32.5	32.5
Peak Torque	47 ft lb (64 nm)	47 ft lb (64 nm)	42 ft lb (57 nm)	51 ft lb (69 nm)	51 ft lb (69 nm)
Displacement	896cc	824cc	898cc	962 cc	962cc
Cylinders	2	2	3	3	3
Engine Oil	Ventrac Full Synthetic 10W30				
Cooling	Air	Liquid	Liquid	Liquid	Liquid
Fuel Type	Gasoline	Gasoline	Diesel	Gasoline	Gasoline
Fuel Capacity	6 gal (22.7 L)	6 gal (22.7 L)	6 gal (22.7 L)	6 gal (22.7L)	6 gal (22.7 L)
Fuel Economy ^{^^}	1.6 gal/hr (6 L/hr)	1.2 gal/hr (4.5 L/hr)	1.1 gal/hr (4 L/hr)	1.5 gal/hr (5.7 L/hr)	1.5 gal/hr (5.7 L/hr)
Slope Rating (continuous/intermittent)	25°/30°	30°/30°	20°/30°	20°/30°	20°/30°
Alternator	50 Amp	30 Amp	60 Amp	60 Amp	60 Amp

Dimensions

Weight with standard hitch	*1385 lb (628 kg)	1620 lb (735 kg)	1705 lb (773 kg)	1700 lb (771 kg)	1690 lb (767 kg)
Weight with accessories kit	1610 lb (730 kg)	N/A	N/A	N/A	N/A
Weight with 3-point hitch	1690 lb (767 kg) w/ accr kit	1700 lb (771 kg)	1785 lb (810 kg)	1780 lb (807 kg)	1770 lb (803 kg)
Length with standard hitch (ROPS up)			81.5 inches (207 cm)		
Length with 3-point hitch			92 inches (234 cm)		
Width			48.5 inches (123 cm)		
Width with wheel extensions			54.5 inches (138.5 cm)		
Width with duals			73 inches (185.5 cm)		
Wheelbase (front axle to rear axle)			45 inches (114 cm)		
Height (ROPS up)			68 inches (173 cm)		
Height (ROPS down)			54 inches (137 cm)		
Turning Radius (single tires, standard position)			39 inches (99 cm)		
Turning Radius (position 2)			54 inches (137 cm)		
Turning Radius (position 3)			68 inches (173 cm)		
Oscillation amount (@ wheel)			7.5 inches (19 cm)		
Ground Clearance			5 inches (13 cm)		

^{^^} Fuel Economy tested with HM602 mower for comparison purposes.
Application conditions & attachment will affect fuel economy.

All specifications subject to change without notice or obligation



The Ventrac 4520 tractor was built with you in mind. From the advanced electrical system, redesigned frame, more safety and comfort features; the 4520 offers the reliable performance, astounding versatility and comfortable handling you have come to expect.

Like all Ventrac tractors, the 4520 utilizes All Wheel Drive and an articulating chassis with a low center of gravity to provide superior traction, braking, stability, and security on tough terrain and slopes without disturbing turf when turning.

Over 30 Ventrac Mount Attachments

Choose from over 30 professional grade Ventrac Mount attachments to transform your Ventrac into a productivity powerhouse. This incredibly rugged and dependable machine is a wise business investment for golf courses, schools and universities, parks, street maintenance departments, commercial mowing services, contractors, wineries, farms, property management associations, estate owners and anyone needing one machine to do it all.

STANDARD FEATURES

- Pre-Wired Plug & Play Wiring Harness
- Premium Comfort Seat
- Advanced Electronic Instrument Panel
- 6 Function Warning Gauge & Alarm
- Conveniently Located PTO Belt Tensioner
- On-board Diagnostic System
- Sealed Electrical System
- Thermostatically Controlled Oil Cooler
- Battery Disconnect Switch with Circuit Breaker
- Automotive Style Parking Brake
- Universal PTO Switch
- S.D.L.A. Operator Controls
- Weight Transfer System*
- *Optional on 4520K, standard on other 4520 Models
- USB Charger

Optional Accessories:

- Turf Tires, Chains
- Category 1 3-Point Hitch
- Cold Weather Cab
- Additional Lighting & Signaling Packages
- Electrical Power Outlets
- Digital Slope Indicator
- Dual Wheel or Wheel Extensions for Slope

Visit www.ventrac.com/accessories for full list.



4520 TRACTOR (cont.)

Electrical

Battery	475 CCA (Group 51R)
Voltage	12 volts
Battery Disconnect	Standard, with 150A System Circuit Breaker
Fuses	Sealed, Mini Fuse and J-Case styles

Drivetrain

Hydraulic Pump	Danfoss DDC-20
Pump Drive	Direct Drive (Double U-Joint Drive-shaft)
Hydraulic Motors	MPIM
Transaxles	Peerless 2600 series
Axles	Peerless 40mm (forged) with integrated forged hub
Hydraulic Oil Cooler	Aluminum w/ Thermostatically controlled Electric Fan
Hydraulic Oil Filter (Suction)	25 micron
Hydraulic Oil Filter (Pressurized)	10 micron

Hitch and PTO

Front Hitch	Ventrac Mount System
Electric PTO clutch with Brake	Ogura GT3.5 (250 ft lb) (339 nm)
Rear Hitch	2 inches Receiver
3-Point Hitch	Optional Category 1 3-Point Hitch

Tires

Standard (All Terrain)	22x12-8
Optional Turf	22x11-10

Travel Speed (F/R)

Low Range	5 mph (8 kph) forward / 4 mph (6 kph) reverse
High Range	10 mph (16 kph) forward / 8 mph (13 kph) reverse

Instruments, Gauges, and Alarm

Gauges	Tachometer, Speedometer, Hour Meter, Engine Temperature (liquid cooled engines only), Fuel Level, Volt Meter
Indicator Lights ^ Activates Audible Alarm	Parking Brake, Engine High-Temp^, Hydraulic Oil High Temp^, Low Voltage^, Low Oil Pressure^
Switches	Key, PTO, and Lights

Lights

Head Lights	(4) LED 1000 Lumen
Tail Lights	(2) Red LED Lights

Controls

Forward Reverse	S.D.L.A. (Speed, Direction, Lift, and Auxiliary) Handle; Optional Foot Pedal
Attachment Lift	S.D.L.A. (Primary Handle)
Auxiliary Hydraulics	S.D.L.A. (Secondary Handle)
Throttle	Dash Mounted
Front Hitch Lock	Column Mounted (Accessible from Seat)
PTO Belt Tensioner	Front Mounted, Automatic Tension Controlled
Weight Transfer	5 position
High/Low Range	Single Lever, Column Mounted
3 Pt Controls (Optional)	Lift + 2 sets of Auxiliaries
Steering	Power Steering

Other Features

Tool Box	Optional
Cup Holder	Standard
Seat	Deluxe High Back Seat (arm rests and suspension seat optional)

ROPS

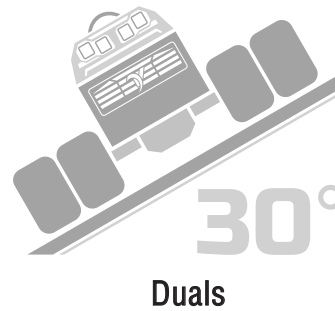
Folding ROPS	Standard
Heavy Duty Off-Road Seat Belt	Standard

All specifications subject to change without notice or obligation

Max Slope Rating (in any direction)

	Single Tires	Dual Wheels
4520* w/Front Attachment (unless specified otherwise below)	20°	30°
4520 w/Cab	10°	Not Recommended
4520 w/Spreader	10°	Not Recommended
4520 w/RV602	10°	15°
4520 w/KH500	5°	Not Recommended
4520 w/MA900	10°	18°

*Attachments, accessories, and tire configuration may reduce the 4520 power unit's maximum angle of operation. Refer to applicable operator manuals for maximum angle of operation of equipment.



ENGINE RATINGS

Model #	4520K	4520P	4520Y	4520N	4520Z
Engine	B&S Vanguard Model 54	Kawasaki FD851D	Kubota D902	Kubota WG972 EFI	Kubota WG972-GL
Fuel	Gas	Gas (DFI)	Diesel	Gas	Gas
Max Slope Intermittent Use***	30° (58%)^	30° (58%)	30° (58%)^	30° (58%)^	30° (58%)^
Max Slope Continuous Use***	25° (47%)	30° (58%)	20° (36%)	25° (47%)	20° (36%)

*** For slope operation over 20°, Wheel Extensions are required for up to 25° or Dual Wheels are required for up to 30°



Digital Slope Gauge
Recommended for operation on slopes.



Intermittent Use Defined

^ The engine may operate between 20° and 30° for up to 10 minutes. If 10 minutes is reached, the engine must be returned to 20° or less to assure proper oil lubrication. After returning to 20° or less, the intermittent cycle can be repeated. The 4520P Kawasaki DFI engine is rated for 30° continuous operation and does not have this requirement.

All specifications subject to change without notice or obligation







Shown with Turf Tires

SPECIFICATIONS

Stock Code

All Terrain	70.4067 (1 kit per tractor)
Turf	70.4068 (1 kit per tractor)
Bar	70.4069 (1 kit per tractor)
Weight	80 lbs (36.25 kg) (per axle)
Additional Tractor Width	24 inches (12 inches/tire) (61 cm)

All specifications subject to change without notice or obligation

Note:

- (A) Do NOT use dual wheels when using the Ventrac VERSA-Loader.
- (B) Engine manufacturers' maximum angle of operation is 25° for continuous use (all directions) and 30° intermittent use*. The 4500P Kawasaki DFI is rated for 30° continuous use.
- (C) Do NOT use with Wheel Extensions

* Intermittent use is up to 10 minutes on the slope, then return to level ground before returning to the slope.

Dual Wheels are available for the 4000 series tractors. They are designed to increase stability, traction, and safety on slopes. Dual wheels are also great for reduction of soil compaction on delicate ground. Once the dual hubs have been installed on each wheel, the duals can be quickly mounted and dismantled.*

Duals are recommended for sandy soils or where a broad distribution of tractor weight is desired, including when driving sideways on slopes greater than 20 degrees (not to exceed 30 degrees).

Duals are only one of numerous considerations for safety on slopes; speed, terrain, irregularities, and stopping the unit are other serious factors to consider for safe operation of the tractor.

*Recommended tire pressure for dual wheels can be found in the 4500 operator manual and also on the sticker inside of the hood



Shown with Standard Tires

TRACTOR COMPATIBILITY KEY:



500 Venture Drive
Orrville, OH 44667
1.866.836.8722

Fax: 330.683.0000
www.ventrac.com
info@ventrac.com

CANOPY

70.4169



CANOPY

Stock Code 70.4169

Dimensions

Weight	62 lbs (28 kg)
Width	42.6 inches (108.2 cm)
Length	56 inches (142.2 cm)
Overall Adjustable Height	1.5 in (3.8 cm)
Standard Height	16 in (40.6 cm) Above top of rollbar to top of canopy
Second Height Option	17.5 in (44.5 cm) Above top of rollbar to top of canopy

Optional Fan Specs

Stock Code	70.4170
Electric Fan	12 in (30.5 cm)
Max Air Flow	1000 CFM
Fan Speeds	3 Options

All specifications subject to change without notice or obligation



AVAILABLE KITS

- 70.4170 – Kit, Fan for Canopy
 - 5 Mounting Options Available
- 70.4171 – Kit, Strobe Light for Canopy
- 70.4172 – Kit, Front Work Light for Canopy
 - Requires 70.4173 -Kit, Work Light LED 4520/4500





FLAIL MOWERS

MW/MY

FLAIL MOWER

Stock Code	39.55147	39.55149	39.55142	39.55148
Model	MW722	MY722	MW560	MY562

Application

Vegetation Volume	Low-Med	Low-High	Low-Med	Low-High
Cutting Style	Fine Turf	High Volume	Fine Turf	High Volume

Dimensions

Cutting Width	72 inches (183 cm)	72 inches (183 cm)	56 inches (142 cm)	56 inches (142 cm)
Length (front to end of hitch arm)	63.5 inches (161 cm)	63.5 inches (161 cm)	64.5 inches (164 cm)	64.5 inches (164 cm)
Width	79 inches (201 cm)	79 inches (201 cm)	63 inches (160 cm)	63 inches (160 cm)
Height	27.75 inches (70 cm)	27.75 inches (70 cm)	27.75 inches (70 cm)	27.75 inches (70 cm)

Cutting System

Blade Type	Scoop	"Y"	Scoop	"Y"
Blade Count	36	72	24	48
Rotor Diameter	12.5 inches (31.75 cm)	12.75 inches (32 cm)	12.5 inches (31.75 cm)	12.75 inches (32 cm)
Rotor Direction-of-operation	"Forward"	"Forward"	"Forward"	"Forward"
Rotor Speed (RPM, at 3600 Tractor RPM)	3000	3000	3000	3000

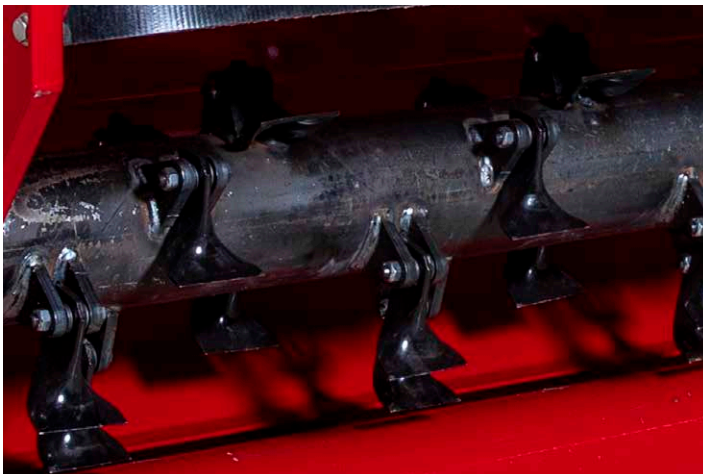
Frame Design

Height of Cut Adjustment	1-5 in	1-5 in	1-5 in	1-5 in
Oscillation Amount	9.3 in (Over rear roller width)	9.3 in (Over rear roller width)	TBD	TBD

Features

Maximum Cutting Size	0.5 inches	0.5 inches	0.5 inches	0.5 inches
Flip Up	Yes	Yes	Yes	Yes
Height Adjustment	2 levers, no tools required	2 levers, no tools required	2 levers, no tools required	2 levers, no tools required

All specifications subject to change without notice or obligation



FINE FLAIL



FAST FLAIL



The new Ventrac Fine Cut and Fast Cut Flail Mowers are in a class of their own. With the out-front mounted design unique to Ventrac, these mower decks offer the ability to turn tall or dense areas into a quality finish cut for fast and efficient property management. Flail mowers are a perfect choice for any overgrown area with a variety of different types of vegetation. Add Ventrac's capabilities to mow difficult areas such as slopes, wet areas, or retention basins, and these mowers will step up your game when it comes to maintaining any property.

The two available models, Fine Cut and Fast Cut, feature unique knife options and offer two width options for more versatility of cut, speed, and application. Cutting widths for the decks are 56" and 72" wide and offer the most versatility for specific property needs.

The Fine Cut Flail (MW560/MW720) is equipped with scoop knives, and it will achieve a quality cut with a more finished look on grassy material that gets mowed 3 to 8 times per year.

The Fast Cut Flail (MY560/MY720) features Y knives, and it is for a dense or brush- type material application. The Fast Cut is a good choice for areas of overgrown brush and vines that do not require regular mowing, but you still want a better finish result than a typical rotary rough-cut mower.

A flail mower cuts by using knives attached to a balanced rotor. The rotor runs parallel with the ground, and the hanging knives spin vertically to cut the grass. This system can produce a high-volume cutting process as it grabs the grass while holding it under the mower for a longer time, allowing it to shred into fine cuttings that are then dispersed evenly along the width of the mower. Evenly dispersed clippings allow for less windrowing and clumping of grass that can kill turf. Flail mowers also provide a much more pleasing aesthetic result than alternative types of rough-cut mowers.

The swinging knives typically handle impact from debris better than fixed rotary blades, and replacing a knife is easier and less expensive than replacing a rotary cutting blade. A huge benefit of the Ventrac Flail mowers is the cut height adjustment mechanism, which allows the user to adjust cut height faster, easier, and with more precision. The process of changing the height-of-cut on a Ventrac flail mower does not require tools and can be accomplished in under a minute.





VENTRAC



Pricing Quote

Quote #: 91201-1003

Date Quoted: May 29, 2024
Quote Expires: June 29, 2024

Prepared For:

Cam Smith
Sanctuary Cove Golf and Country Club
The Parkway
Sanctuary Cove, QUEENSLAND 4212
Australia

Prepared By:

Ventrac Sales
Chris Stig
27 Kurrara Street Lansvale 2166
Phone: 0419 258 566

Thank you for the opportunity to quote the following Ventrac product(s) for your review. I have added the items that we feel would best serve your needs. Please feel free to contact me with any questions.

QTY	Model #	Description	Unit Price	Total
1	4520P (39.51216)	Ventrac Tractor: KN, 4520P Kawasaki FD851D <i>Included Standard: Weight Transfer, SDLA Hand Controls, 4 Rear Weights, Front Fenders, Foot Pegs</i>	51,470.00	51,470.00
1	70.4067	Accessory: DUAL WHEEL KIT Kit, Duals Field Trax Black	2,781.00	2,781.00
1	70.4179	Accessory: 12-VOLT REAR PLUG Kit, 12V Rear 4520	311.00	311.00
1	70.4161	Accessory: 12V FRONT Kit, 12V Front 4520/4500	665.00	665.00
1	70.4169	Accessory: CANOPY Kit, Canopy	1,866.00	1,866.00
1	MY722 (39.55149)	Attachment: MOWERS - FLAIL MY, MY722 72" Flail Mower - Fast Cut	15,288.00	15,288.00
			Subtotal	72,381.00
			DISCOUNTS	
			Promotion	-3,300.00
			CHARGES	
			Tax (10%)	+6,908.10
			TOTAL AUD \$	75,989.10

Notes:

All items are in stock currently





Mulpha Sanctuary Cove (Developments) Pty Limited
ACN 098 660 318 ABN 20 098 660 318

Jabiru House, Masthead Way
PO Box 199 Sanctuary Cove QLD 4212 Australia
T 61 7 5577 6500 F 61 7 5530 8455
www.sanctuarycove.com www.mulpha.com.au

17 June 2024

The Chairperson
Sanctuary Cove Primary Thoroughfare Body Corporate (PTBC)
c/o Sanctuary Cove Body Corporate Services Pty Ltd
PO Box 15
Sanctuary Cove
Queensland 4212

Delivered by hand on 17/6/24

Dear Sir/Madam,

**RE: SANCTUARY COVE RESORT – SURRENDER OF EASEMENT B ON SP236703
FROM LOT 52 ON SP327424, LOT 58 ON SP314518 ANS LOT 83 ON SP320252**

Please be advised that Mulpha Sanctuary Cove (Developments) Pty Limited (MSCD) is now the owner of all the above referenced lots (subject lots).

Easement B was created in 2011 in the subject lots in former golf course land for the Primary Thoroughfare Body Corporate (PTBC) to maintain the easement land for the purpose of ensuring the high standard of aesthetic appearance of the easement land.

MSCD will be developing the subject lots (works already commenced in Lot 58 and Lot 83) into residential precincts over the next few years. Because of this please be advised:

1. Easement B in the subject lots is no longer in un-maintained golf course land and has now reverted to MSCD future development land. This letter advises that MSCD provides the PTBC with an undertaking that we will ensure the land within the easement in the subject lots is maintained to keep it looking tidy before, during and after the sites have been developed whilst it is in MSCD ownership.
2. Easement B in the subject lots (particularly Lot 58) encroaches into the parts of the land that will have roads and services constructed on/in them during development of the land.

Based on 1 and 2 above Easement B in the subject lots is no longer required and MSCD requests that the PTBC partially surrender the parts of Easement B that are within the subject lots.

MSCD will have our lawyers prepare all the necessary documentation required for the partial surrender and will issue same to the PTBC Managers in due course for execution by the PTBC.

2/...

(2)

Can you please ensure this matter is included as an Agenda Item for resolution by the PTBC in the June '24 PTBC EGM.

Yours sincerely,
Mulpha Sanctuary Cove (Developments) Pty Limited

A handwritten signature in black ink, appearing to read 'Barry Teeling', written in a cursive style.

Barry Teeling
Development Director

Phone +61 7 5577 6034 MOBILE +61 404 490 775

Email barry.teeling@mulpha.com.au

1. **Surrender of easement**

1.1 **Special Resolution of the PTBC - Easement B on SP236703**

To be resolved by **resolution without dissent**.

Explanatory statement:

Easement B on SP236703 was an access easement granted primarily for buggy and pedestrian access over the golf course land identified as former Lot 3 on SP186788 (which has subsequently been subdivided into a number of lots including Lot 51 on SP327424, Lot 52 on SP327424, Lot 58 on SP314518 and Lot 83 on SP320252) to primary thoroughfare. Lot 58 on SP314518 and Lot 83 on SP320252 have been sold and cease to form part of the golf course. **Additionally Lot 52 on SP327424 has ceased to be utilised as part of the golf course.** Access over Easement B in **Lot 52 on SP327424**, Lot 58 on SP314518 and Lot 83 on SP320252 is no longer appropriate or necessary to access the golf course. The easement will remain over Lot 51 on SP327424.

The PTBC resolves to do all things required to partially surrender the benefit of Easement B on SP236703.

Resolution:

The PTBC resolve by **resolution without dissent** that:

- (a) the PTBC partially surrender Easement B on SP236703 insofar as it encumbers **Lot 52 on SP327424**, Lot 58 on SP314518 and Lot 83 on SP320252; and
- (b) the PTBC sign and provide all documents necessary to surrender Easement B on SP236703 insofar as it encumbers **Lot 52 on SP327424**, Lot 58 on SP314518 and Lot 83 on SP320252, including:
 - (i) Form 10 partial surrender of Easement B on SP236703 insofar as it applies to Lot 52 on SP327424 to Sanctuary Cove Golf And Country Club Holdings Limited;
 - (ii) Form 10 partial surrender of Easement B on SP236703 insofar as it applies to 58 on SP314518 and Lot 83 on SP320252 to Mulpha Sanctuary Cove (Developments) Pty Ltd; and
- (c) a copy of this resolution to lodge with each Form 10.



Privacy Statement

The information from this form is collected under the authority of the Land Title Act 1994 and Land Act 1994 and is used for the purpose of maintaining the publicly searchable registers in the registry.

1. Dealing number of easement being surrendered 713749344	Lodger (Name, address & phone number) Clayton Utz GPO Box 55, Brisbane Qld 4001 Ph: 3292 7000 Ref: 12309/80096480	Lodger Code 232
---	--	---------------------------

2. Description of Easement/Lot on Plan	Title Reference
Servient Tenement (burdened land) Easement B in Lot 58 on SP314518	51204369
Easement B in Lot 83 on SP320252	51241589
*Dominant Tenement (benefited land) Lot 91 on RP205597	17033101

* not applicable if easement in gross

3. Grantor Mulpha Sanctuary Cove (Developments) Pty Ltd ACN 098 660 318	4. Grantee Sanctuary Cove Primary Thoroughfare Body Corporate
--	---

5. Surrender/Execution

***Full Surrender**

The Grantee surrenders the easement in item 1 so that the easement is extinguished.

***Partial Surrender**

~~The Grantee surrenders the easement in item 1 so that the easement is extinguished so far as the easement relates to—
*part of the Dominant Tenement or
*part of the Servient Tenement.~~

* delete paragraph not applicable

Witnessing officer must be aware of his/her obligations under section 162 of the Land Title Act 1994

Witnessing Officer	Execution Date	Grantee's Signature
..... signature	/ /	Sanctuary Cove Primary Thoroughfare Body Corporate
..... full name		Chairperson
..... qualification		Secretary

(Witnessing officer must be in accordance with Schedule 1 of the Land Title Act 1994 eg Legal Practitioner, JP, C Dec)

Witnessing Officer	Execution Date	Grantor's Signature
..... signature	/ /
..... full name	
..... qualification	

(Witnessing officer must be in accordance with Schedule 1 of the Land Title Act 1994 eg Legal Practitioner, JP, C Dec)



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---	--	---------------------------

2. Description of Easement/Lot on Plan	Title Reference
Servient Tenement (burdened land) Easement B in Lot 52 on SP327424	51276231
*Dominant Tenement (benefited land) Lot 91 on RP205597	17033101

* not applicable if easement in gross

3. Grantor Sanctuary Cove Golf and Country Club Holdings Limited ACN 120 283 534	4. Grantee Sanctuary Cove Primary Thoroughfare Body Corporate
--	---

5. Surrender/Execution

***Full Surrender**

The Grantee surrenders the easement in item 1 so that the easement is extinguished.

***Partial Surrender**

~~The Grantee surrenders the easement in item 1 so that the easement is extinguished so far as the easement relates to—
*part of the Dominant Tenement or
*part of the Servient Tenement.~~

* delete paragraph not applicable

Witnessing officer must be aware of his/her obligations under section 162 of the Land Title Act 1994

Witnessing Officer	Execution Date	Grantee's Signature
..... signature	/ /	Sanctuary Cove Primary Thoroughfare Body Corporate
..... full name		Chairperson
..... qualification		Secretary

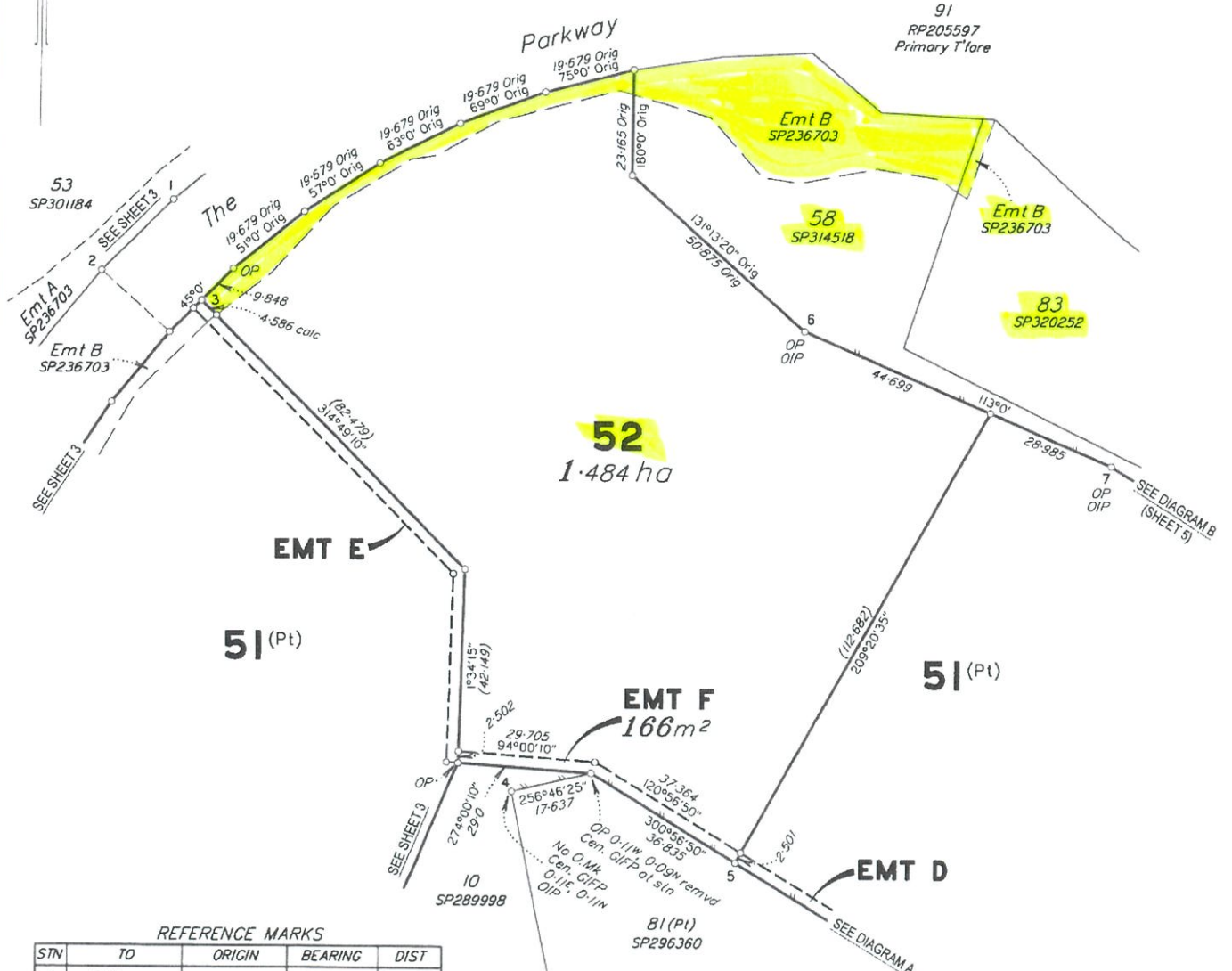
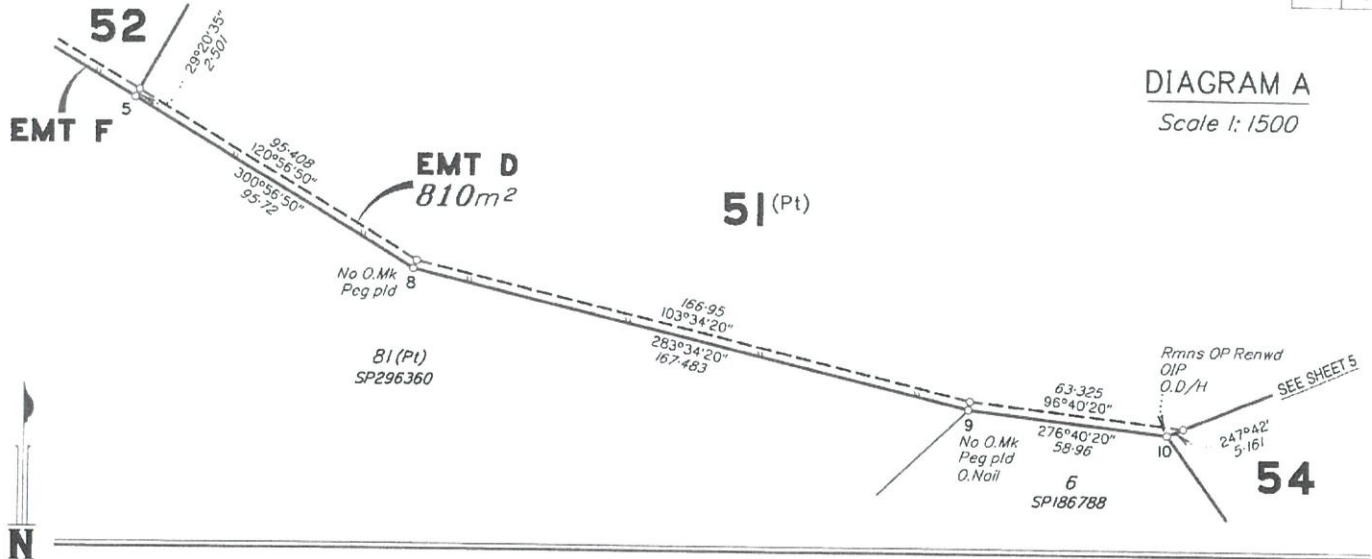
(Witnessing officer must be in accordance with Schedule 1 of the Land Title Act 1994 eg Legal Practitioner, JP, C Dec)

Witnessing Officer	Execution Date	Grantor's Signature
..... signature	/ /
..... full name	
..... qualification	

(Witnessing officer must be in accordance with Schedule 1 of the Land Title Act 1994 eg Legal Practitioner, JP, C Dec)

DIAGRAM A

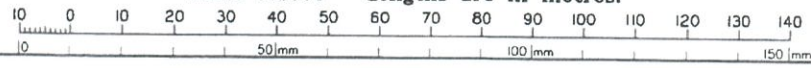
Scale 1:1500



REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
3	Nail in conc		187°25'30"	8-083
3	Nail in conc		94°40'20"	41-713
4	OIP	10/SP289998	118°06'45"	2-283
5	D/H in conc		42°11"	32-294
6	OIP	5/SP314518	267°54'45"	20-449
7	OIP	4/SP314518	312°31'10"	17-12
8	D/H in conc		4°00'20"	23-759
9	O.Nail in conc	35/SP186788	86°36'30"	19-14
10	OIP	36/SP186788	102°44'50"	16-389
10	O.D/H in conc	36/SP186788	82°25'45"	19-911

Scale 1:1000 - Lengths are in metres.

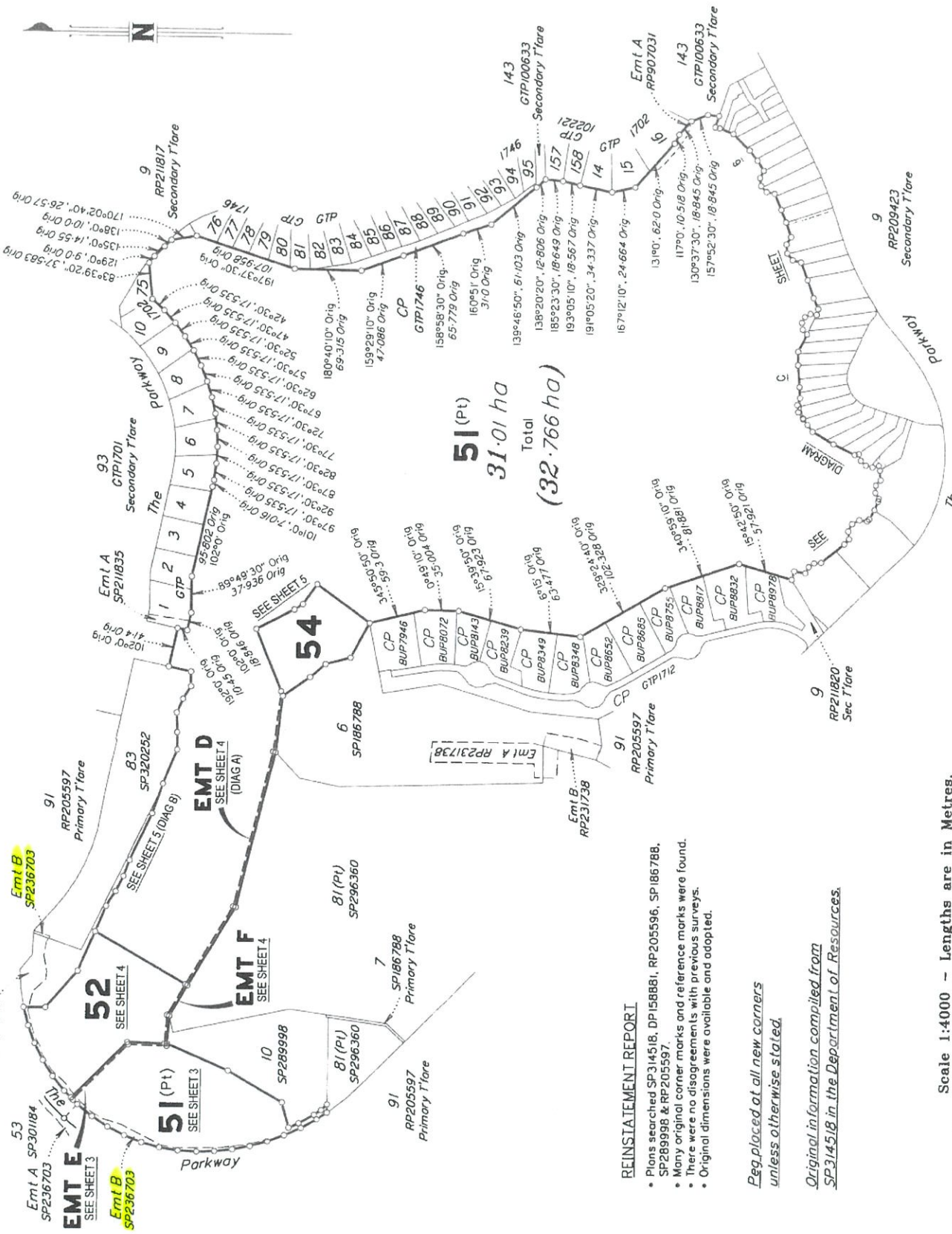


State copyright reserved.

Insert Plan Number **SP327424**

RPS GC 7365-BC / FINAL 27.10.2021

SURVEY PLAN



51 (Pt)
31.01 ha
Total
(32.766 ha)

54

52

51 (Pt)

REINSTATEMENT REPORT

- Plans searched SP314518, DP158881, RP205596, SP186788, SP289998 & RP205597
- Many original corner marks and reference marks were found.
- There were no disagreements with previous surveys.
- Original dimensions were available and adopted.

Req. placed at all new corners unless otherwise stated.

Original information compiled from SP314518 in the Department of Resources.

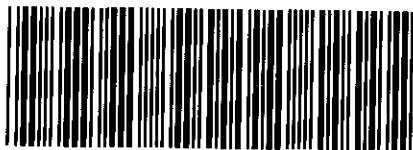
Scale 1:4000 - Lengths are in Metres.

RPS AUSTRALIA EAST PTY LTD (ACN 140 292 762) hereby certify that the land comprised in this plan was surveyed by the corporation, by Jay Thomas SLATER, Surveying Graduate, for whose work the corporation accepts responsibility, under the supervision of Brian Phillip Rogers, Cadastral Surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 1/10/2021.

Date: 27/10/2021
Authorized Delegate

<p>Plan of Lots 51, 52 & 54 and Easements D & E in Lot 51 & Easement F in Lot 52 Cancelling Lot 59 on SP314518</p>		<p>Scale: 1:4000</p>
<p>LOCAL GOVERNMENT: GOLD COAST CITY LOCALITY: HOPE ISLAND</p>		<p>Format: STANDARD</p>
<p>Meridian: SP314518</p>		<p>Survey Records: No</p>
<p>SP327424</p>		

EASEMENT



713749344

\$127.90
08/03/2011 15:47

BE 600

Client No: 10516 *but limited Duties Act 2001*
 Transaction No: 502-916-497
 Duty Paid \$ 0.00 Exempt
 UTI \$ -
 Date: 23/2/11 Signed: _____

1. Grantor	Lodger (Name, address, E-mail & phone number)	Lodger Code
Sanctuary Cove Golf and Country Club Holdings Limited ACN 120 283 534	Hynes Lawyers PO Box 359 Surfers Paradise Qld 4217 Phone: 5504 9999 Ref: A0220100062	G0432 <u>103446</u>

2. Description of Easement/Lot on Plan	County	Parish	Title Reference
Servient Tenement (burdened land)			
Easement A on SP 237603 in Lot 51 on RP 205596 <i>← 236703</i>	Ward	Coomera	17033090
Easement B on SP 236703 in Lot 3 on SP 186788	Ward	Coomera	50614021
*Dominant Tenement (benefited land)			
Lot 91 on RP205597	Ward	Coomera	17033101

* not applicable if easement in gross

3. Interest being burdened Fee Simple	4. Interest being benefited Fee Simple
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5. Grantee	Given names	Surname/Company name and number	(include tenancy if more than one)
		Sanctuary Cove Primary Thoroughfare Body Corporate	

6. Consideration \$1.00	7. Purpose of easement Access
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8. Grant/Execution
 The Grantor for the above consideration grants to the Grantee the easement over the servient tenement for the purpose stated in item 7 and the Grantor and Grantee covenant with each other in terms of the attached schedule.

Witnessing officer must be aware of his/her obligations under section 162 of the Land Title Act 1994

signature.....
 full name.....
 qualification.....
Witnessing Officer
 (Witnessing officer must be in accordance with Schedule 1 of the Land Title Act 1994 eg Legal Practitioner, JP, C Dec)

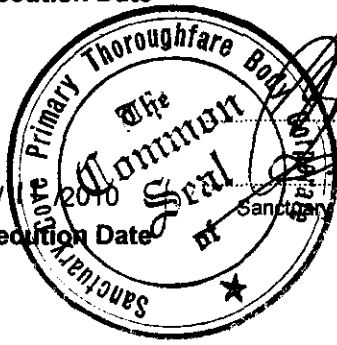
[Signature]
 director
 director/secretary
 Sanctuary Cove Golf and Country Club Holdings Limited
 ACN 120 283 534
Grantor's Signature

19/11/2010
Execution Date

signature.....
 full name.....
 qualification.....
Witnessing Officer
 (Witnessing officer must be in accordance with Schedule 1 of the Land Title Act 1994 eg Legal Practitioner, JP, C Dec)

[Signature] Chairperson
[Signature] Secretary
 Sanctuary Cove Primary Thoroughfare Body Corporate
Grantee's Signature

22/11/2010
Execution Date



Title References 17033090, 50614021 & 17033101

The Parties in the Form 9 Easement covenant and agree as follows:

1 Definitions and Interpretation

In this Easement:

1.1 The words and phrases used in this Easement have the following meanings unless inconsistent with the subject or context:

- (a) "Benefited Land" means the dominant tenement land described in Item 2 Form 9 Easement;
- (b) "Burdened Land" means the servient tenement land described in Item 2 of the Form 9 Easement;
- (c) "Consideration" means the consideration in Item 6 of the Form 9 Easement;
- (d) "Grantee" means the grantee in Item 5 of the Form 9 Easement;
- (e) "Grantor" means the grantor in Item 1 of the Form 9 Easement;
- (f) "Prescribed Persons" means the Grantee's tenants, servants, agents, contractors, sub-contractors, invitees and licensees and owners and occupiers of the Schemes that form part of the Sanctuary Cove Primary Thoroughfare Body Corporate;
- (g) "Purpose" means the purpose the Burdened Land is used by the Grantee as defined in Clause 3;

1.2 In the interpretation of this Easement, unless the context otherwise requires the following rules apply:

- (a) headings are for ease of reference only and do not affect the meaning of this Easement and do not form part of the clause;
- (b) the singular includes the plural and vice versa and words importing a gender include other genders;
- (c) words used in this Easement and defined in the dictionary will have the meaning set out in the dictionary. Other grammatical forms of defined words or expressions have corresponding meanings;
- (d) a reference to a clause, paragraph, schedule or annexure is a reference to a clause or paragraph of or schedule or annexure to this Easement and a reference to this Easement includes any schedules and annexures attached to this Easement;
- (e) a reference to a document or agreement, including this Easement, includes a reference to that document or agreement as novated, altered or replaced from time to time;
- (f) a reference to "\$", "\$A", "dollar" or "A\$" is a reference to Australian currency;
- (g) a reference to a specific time for the performance of an obligation is a reference to that time in the State, Territory or other place where that obligation is to be performed;
- (h) a reference to a right includes a benefit, remedy, authority, discretion and power;
- (i) a reference to a Party includes its executors, administrators, successors and permitted assigns and if more than one, includes those persons jointly and each of them severally, their respective executors administrators and assigns;
- (j) words importing the whole of the matter or thing include a part of the matter or thing;
- (k) words and expressions importing natural persons include partnerships, bodies corporate, associations (whether incorporated or not), firms, joint ventures, trusts, authorities, governments and governmental, semi-governmental and local authorities and agencies;
- (l) a reference to a 'subsidiary' of a body corporate is to a subsidiary of that body corporate in accordance with Pt 1.2 Div 6 of the *Corporations Act 2001* (Cth);

Title References 17033090, 50614021 & 17033101

- (m) a reference to any legislation or statutory instrument or regulation is construed in accordance with the *Acts Interpretation Act 1901* (Cth) or the equivalent State legislation, as applicable, and includes a reference to an enactment, amendment or consolidated statute and any enactment substituted for the enactment and all legislation and statutory instruments issued under, such legislation or provision;
- (n) words and expressions defined in the *Corporations Act 2001* (Cth) as at the date of this Easement have the meanings given to them in the *Corporations Act 2001* (Cth) at that date; and
- (o) any provision in this Easement stating that a Party "must" do something or "must" not do something should be read and construed as an agreement by that Party to do or not to do the matter or thing referred to;
- (p) each clause in this Easement is not, except where expressly provided, limited in meaning or effect by any other clause in this Easement;
- (q) a reference to writing includes typewriting, printing, lithography, photography and any other method of representing or reproducing words, figures or symbols in a permanent and visible form; and
- (r) any agreement, covenant, obligation, representation, undertaking, indemnity, guarantee or warranty entered into by a Party for or with another person binds them jointly and severally and an agreement, covenant, obligation, representation, undertaking, indemnity, guarantee or warranty in favour of a Party for or with another person is for the benefit of them jointly and severally. A release given to the other person shall not release the Party from any other obligation. The granting of time or another indulgence to another person will not release the Party of its obligations under this Easement.

2 Grant of Easement

- 2.1 The Grantor grants to the Grantee an easement over the Burdened Land for the Purpose.
- 2.2 The Grantee must pay to the Grantor the Consideration on the date of the execution of this Easement by the Grantee.

3 Purpose of Easement

- 3.1 The Grantee and the Prescribed Persons may use the Burdened Land only for the purposes of allowing access for motorised buggies, pedestrians, cyclists and persons over the Burdened Land.
- 3.2 Use of the Burdened land for any other purpose shall be a breach of this Easement.

4 Grantee's ongoing obligations

- 4.1 The Grantee must:
 - (a) maintain the paths on the Burdened Land at all times in a safe, intact and reasonably useable state having regard to the Purpose;
 - (b) maintain and repair the Burdened Land generally;
 - (c) repair any damage caused to the Burdened Land as a result of the Grantee's use of the Burdened Land for the Purpose;
 - (d) keep the Burdened Land clean and tidy and free from rubbish;
 - (e) comply strictly with all Local Government and *Sanctuary Cove Resort Act 1985* requirements governing the Purpose (including all relevant approvals from the Local Government to ensure the Purpose can be enjoyed by the Grantee.

Title References 17033090, 50614021 & 17033101

5 Grantor's ongoing obligations

5.1 The Grantor must at all times:

- (a) not restrict the Grantee from using the Burdened Land for the Purpose;
- (b) pay all costs in relation to the Burdened Land including but not limited to council rates and water rates and usage charges on the Burdened Land levied by any government authority;
- (c) pay all costs to comply with its obligations in this Easement; and
- (d) allow the Grantee to use reasonable measures to remove any obstruction which is preventing the Grantee from using the Burdened Land for the Purpose.

6 Grantor's Rules

6.1 For the purpose of this Easement the rules determined by the Grantor as at the date this easement is granted include, but are not limited to:

- (a) the Burdened Land must not be damaged in any manner;
- (b) the Burdened Land must be left clean and tidy after use;
- (c) the Grantee must make good any collateral damage to the Burdened Land; and
- (d) the Grantee and the Prescribed Persons must comply with all statute law about the use of the Burdened Land for the permitted purpose under this Easement.

7 Registration

7.1 To enable registration of the Easement with the Department of Natural Resources, Mines and Water the Grantee:

- (a) must do whatever is necessary and sign all appropriate documentation; and
- (b) answer any requisition received on lodgement.

8 Indemnity and Insurance

8.1 The Grantee indemnifies and holds the Grantor harmless for any damage, claim, liability, demand, cost and expense of any nature which the Grantor incurs as a result of the Grantee's use of the Burdened Land for the Purpose.

8.2 The Grantee must maintain public risk liability insurance in respect of the Burdened Land for all usual and reasonable liabilities under a policy which will be written on a comprehensive basis with cover for such limit as the Grantor determines from time to time but not less than \$10 million per occurrence noting the Grantor as an interested party. If requested by the Grantor the Grantee must provide a certificate of currency of insurance for this insurance required by this clause.

8.3 The Grantee must upon request from the Grantor immediately provide to the Grantor a certificate of currency of insurance for the insurance required in Clause 9.2.

9 Costs

9.1 Each party must pay their own costs in relation to the Easement.

9.2 The Grantee must pay the following costs:

- (a) costs of preparing the survey plan;
- (b) administrative costs for the Easement;

Title References 17033090, 50614021 & 17033101

- (c) stamp duty (if any); and
- (d) registration fees.

10 Notices

- 10.1 Any notice, approval, consent or other communication in connection with this Easement must be in writing and may be given by:
- (a) leaving it at the address of the other party as may be notified by the other party from time to time; or
 - (b) sending it by prepaid ordinary post to the address of the other party as may be notified by the other party from time to time; or
 - (c) by facsimile to the number of the other party as may be notified by the other party from time to time.
- 10.2 A notice, approval, consent or other communication takes effect from the time it is received unless a later time is specified in it.
- 10.3 A letter or facsimile is taken to be received:
- (a) in the case of a posted letter, on the third day after posting; or
 - (b) in the case of a facsimile, on production of a transmission report by the machine from which the facsimile was sent which indicates the facsimile was sent in its entirety to the facsimile number of the recipient.

11 General

- 11.1 This Easement is governed by the laws of Queensland and the parties submit to the exclusive jurisdiction of the courts of Queensland.
- 11.2 A variation of this Easement will only take effect if it is in writing and signed by both Parties.



MICHEL
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DOCUMENT TRANSMITTAL

TO: Hynes Lawyers
50 Appel Street, Surfers Paradise

ATTN: Annette Wojtyna

FROM: Tony Cullane

DATE: 04-02-2011 **OUR REF:** 9724 **NO OF COPIES:**

PLAN NUMBERS: SP 236703

ACTION: Delivered

Re :Sanctuary Cove Body Corporate

Annette,

Please note the attached survey plan SP236703 and the associated easement documents.

We have done some investigation with DERM and the primary thoroughfare is not considered to be dedicated road in relation to the Sustainable Planning Act.

This means that the plan does not require Council consent and can be lodged straight with DERM for registration.

Please lodge this on behalf of our mutual client.

Kind Regards,